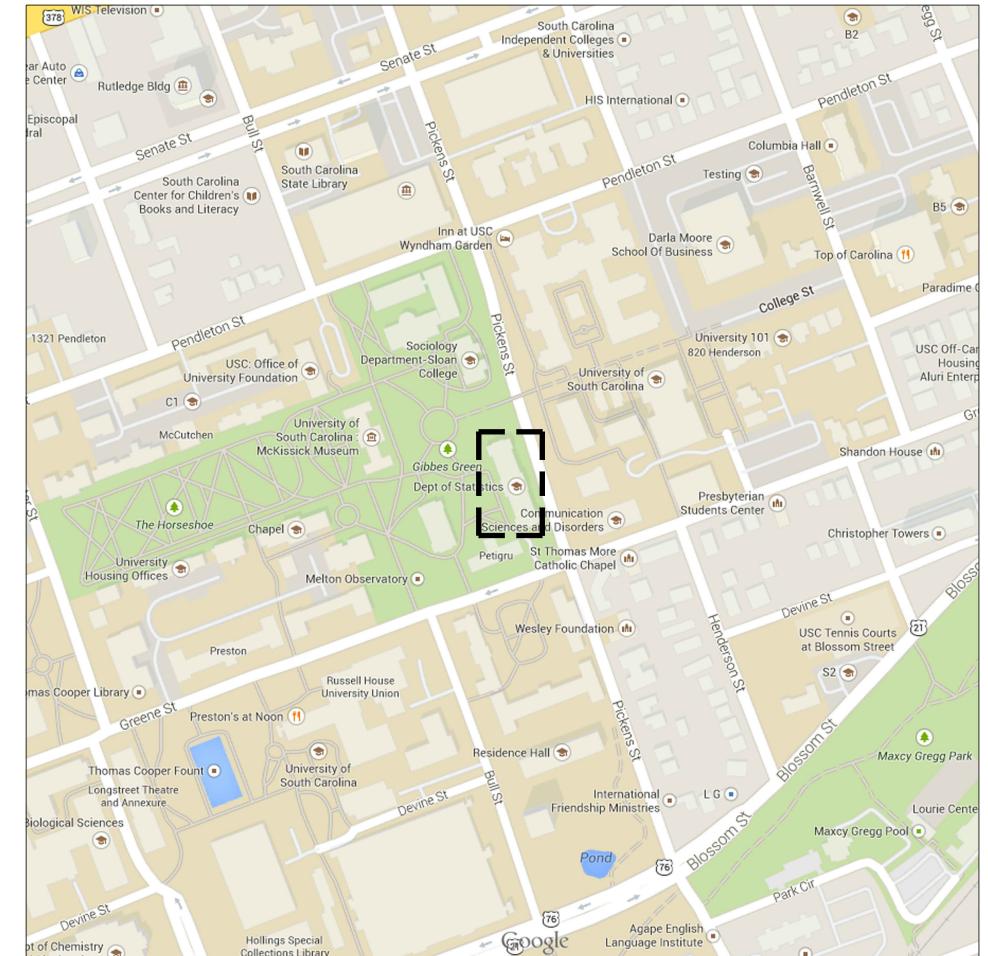
University of South Carolina

LeConte College 3rd Floor Renovation H27-Z141 Columbia, SC



Compass 5 Partners, LLC						
1329 State Stree Cayce, South Ca 29033						
803-765-0838 p compass5partne	rs.com					
SHEET No.	DESCRIPTION					
G001	COVER SHEET & INDEX					
G002	CODE SHEET, GENERAL NOTES, & LEGEND					
G003	LIFE SAFETY PLAN					
AD101	DEMOLITION FLOOR PLAN					
A101	RENOVATION FLOOR PLAN					
A121	REFLECTED CEILING PLAN					
A300	INTERIOR ELEVATIONS AND DETAIL					
A400	DOOR SCHEDULE & DETAILS					
A500	CEILING DETAILS					
A700	FINISH PLAN, LEGEND & SCHEDULE					
A721	FURNITURE PLAN (FOR REFERENCE ONLY)					

CP00369994

Swygert & A	ssociates
1315 State Stree Cayce, South Ca 29033	t
803-791-9300 of	fice
SHEET No.	DESCRIPTION
P100	FLOOR PLAN, NOTES AND SCHEDULE

Swygert & A	ssociates
1315 State Stree Cayce, South Ca 29033	
803-791-9300 of	fice
SHEET No.	DESCRIPTION
MD100	DEMOLITION FLOOR PLAN
M100	RENOVATION FLOOR PLAN
M200	DETAILS, NOTES, SCHEDULES, AND LEGENDS

MECHANICAL ENGINEER						
Swygert & As	ssociates					
1315 State Street Cayce, South Ca 29033						
803-791-9300 of	fice					
SHEET No.	DESCRIPTION					
MD100	DEMOLITION FLOOR PLAN					
M100 RENOVATION FLOOR PLAN						
M200	DETAILS, NOTES, SCHEDULES, AND LEGENDS					
	1					

LOCATION MAP - 1523 Greene St Columbia, SC 29201

Beika Engi	ineering
7 Clusters Cou Columbia, Sou 29210 803-731-0650	uth Carolina
SHEET No.	DESCRIPTION
E001	ELECTRICAL SYMBOLS, LEGEND, AND SCHEDULES
ED101	ELECTRICAL DEMOLITION PLANS
E101	LIGHTING RENOVATION PLAN

NOT TO SCALE

IMPACT FOR OTHER FLOORS

ALSO PART OF THE WORK.

TO MATCH EXISTING FINISHES.

A. THE REQUIRED DEMOLITION SHALL NOT BE LIMITED TO THAT PORTION OF WORK SHOWN ON THE PLANS ALONE.

WORK COINCIDENTAL THERETO WHICH IS NECESSARY TO ACCOMPLISH THE INTENT OF THE CONTRACT DOCUMENTS IS

B. ANY DEMOLITION WORK NECESSARY ON FLOOR ABOVE AND BELOW SHALL BE SCHEDULED WITH THE OWNER. ANY

FINISHES DISTURBED OR DAMAGED AS A RESULT OF DEMOLITION OR INSTALLATION SHALL BE PATCHED OR REPLACED

Beams & Joists

NA

NA

l na

Fire Walls

Fire Barriers

Shaft Enclosures

Fire Partitions

GENERAL DEMOLITION NOTES

A. BEFORE BEGINNING CONSTRUCTION OR DEMOLITION ACTIVITIES THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY EXISTING CONDITIONS, COMPARE RESULTS WITH INFORMATION GIVEN IN THE CONTRACT DOCUMENTS AND

B. REFER TO MECHANICAL, ELECTRICAL OR PLUMBING DRAWINGS FOR MEP DEMOLITION AND COORDINATION.

. DEMOLITION WORK WHICH REQUIRES ACCESS TO OCCUPIED SPACES OUTSIDE OF THE PROJECT AREA IS TO BE SCHEDULED WITH THE OWNER. REFER TO PROJECT MANUAL FOR WRITTEN NOTICE REQUIREMENTS.

D. THE EXTENT OF DEMOLITION INDICATED IS BASED ON RECORD DRAWINGS PROVIDED BY THE OWNER AND FIELD OBSERVATIONS. ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE INDICATED ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT AS SOON AS DISCREPANCIES ARE DISCOVERED.

E. REFER TO PROJECT MANUAL FOR INFECTION CONTROL MEASURES, DEBRIS REMOVAL AND SAFETY PRECAUTIONS. F. IF THE CONTRACTOR ENCOUNTERS MATERIAL BELIEVED TO BE ASBESTOS OR LEAD, HE SHALL IMMEDIATELY STOP WORK

G. THE CONTRACTOR SHALL INSPECT BOTH SIDES OF EXISTING WALLS, CEILINGS AND FLOOR ASSEMBLIES AND REPAIR/REPLACE AS REQUIRED TO MAINTAIN EXISTING RATINGS. REFER TO GOO3 LIFE SAFETY PLAN FOR LOCATIONS OF RATED WALLS AND SMOKE RESISTIVE CONSTRUCTION.

H. THE CONTRACTOR SHALL COORDINATE NEW OPENINGS IN EXISTING WALLS OR FLOORS WITH APPLICABLE ELECTRICAL, MECHANICAL, PLUMBING, EQUIPMENT AND OR PIPING DRAWINGS.

THE CONTRACTOR SHALL SEAL ALL HOLES LEFT AFTER REMOVAL OF PIPES. CONDUITS AND DUCTS ETC. WITH MATERIALS TO MATCH EXISTING CONSTRUCTION AND SEALANTS. ANY EQUIPMENT TO BE DECOMMISSIONED IS TO BE REMOVED IN ITS ENTIRETY, AND IS NOT TO BE LEFT INOPERABLE ABOVE THE CEILING OR INSIDE THE WALL CAVITIES. J. REFER TO PROJECT MANUAL FOR OWNER REQUIREMENTS FOR UTILITY OUTAGES.

K. THE CONTRACTOR IS TO PROVIDE DUST PARTITIONS AND TACKY MATS AS NECESSARY AROUND DEMOLITION OR NEW CONSTRUCTION TO PROTECT THE OWNER'S OPERATIONS. DUST PARTITIONS SHALL BE OF 1-HOUR RATED NON-COMBUSTIBLE MATERIALS (INCLUDING DOORS AND FRAMES) AND MAINTAINED IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION. REFER TO ARCHITECTURAL PLANS AND SHEET GOO3.

L. ALL REMAINING MATERIALS ADJACENT TO AREAS OF DEMOLITION ARE TO BE LEFT NEATLY PATCHED, PAINTED AND REPAIRED TO MATCH EXISTING FINISHES. NOTE: FINISHES NEED TO EXTEND TO A LOGICAL STOPPING POINT I.E. CORNER, EDGE OF WALL, FLOOR, CEILING ETC.

M. ITEMS TO BE REMOVED OF SALVAGEABLE VALUE ARE TO REMAIN THE PROPERTY OF THE OWNER TO BE DISPOSED OF AT HIS DISCRETION. ANY SALVAGEABLE ITEMS GIVEN TO THE CONTRACTOR MUST BE REMOVED FROM THE SITE. ITEMS TO REMAIN THE PROPERTY OF THE OWNER SHALL BE STORED ON-SITE BY THE CONTRACTOR AT THE OWNER'S DISCRETION.

N. INTERIM FIRE-STOPPING IS TO BE PROVIDED FOR ALL ABANDONED OR NEWLY CREATED PENETRATIONS THROUGH THE EXISTING FLOOR SLAB OR STRUCTURAL DECK ABOVE AND SHALL BE MAINTAINED UNTIL PERMANENT FIRE-STOPPING IS IN PLACE. REFER TO PROJECT MANUAL FOR ADDITIONAL INTERIM REQUIREMENTS. THE LOCATION AND QUANTITY ADDRESSED IN THESE NOTES SHALL BE GENERALLY INFERRED BASED ON THE CONTENT AND EXTENT OF WORK DEPICTED IN THE DRAWINGS AND SPECIFICATIONS. EXTRAORDINARY CONDITIONS MAY BE IDENTIFIED DURING DEMOLITION AND WILL BE

O. EXISTING FIRE-RATED ASSEMBLIES SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THIS PROJECT. REPAIR OF EXISTING HOLES, CRACKS OR OTHER BREACHES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. REPAIRS SHALL CONFORM TO THE APPROPRIATE UL RATED ASSEMBLY CONSISTENT WITH THE REQUIRED RATING IN THE AREA OF CONSTRUCTION AND/OR ADJACENT AREAS.

P. THIS DRAWING SHOWS THE GENERAL EXTENT OF DEMOLITION TO BE PERFORMED. ALL ITEMS DASHED ARE TO BE REMOVED COMPLETE, EVEN IF REMOVAL EXTENDS BEYOND THE DESIGNATED SPACE AND/OR PROJECT BOUNDARY. CONTRACTOR SHALL INCLUDE ALL DEMOLITION, CUTTING AND PATCHING REQUIRED FOR NEW CONSTRUCTION. REFER TO OTHER DISCIPLINES (MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION) DEMOLITION PLANS FOR ADDITIONAL ITEMS TO BE REMOVED OR RELOCATED.

Q. ALL EXISTING ITEMS SCHEDULED TO REMAIN (ANY DISCIPLINE) WHICH ARE EXPOSED TO DEMOLITION WORK SHALL BE PROTECTED OR TEMPORARILY REMOVED, STORED, AND PROTECTED. R. THE CONTRACTOR SHALL SCHEDULE ALL WORK INCLUDING ANY INTERRUPTION OF UTILITIES PRIOR TO THE START OF

S. CONTRACTOR TO REMOVE ALL ABANDONED OR UNNECESSARY PIPING, DUCT, WIRING AND/OR CONDUIT COMPLETE, EVEN

IF REMOVAL EXTENDS BEYOND THE DESIGNATED SPACE AND/OR PROJECT BOUNDARIES. THE LOCATION AND QUANTITY ADDRESSED IN THESE NOTES SHALL BE GENERALLY INFERRED BASED ON THE CONTENT AND EXTENT OF WORK DEPICTED IN THE DRAWINGS AND SPECIFICATIONS. THE INTENT IS TO COVER COMMON, TYPICAL, AND GENERALLY ANTICIPATED ITEMS. EXTRAORDINARY CONDITIONS MAY BE IDENTIFIED DURING DEMOLITION AND WILL BE ADDRESSED AT THAT TIME. T. AREAS SHOWING THE REMOVAL OF WALLS TO BE PROPERLY SHORED UP IF NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING WHICH AREAS ARE TO BE SHORED.

GENERAL RENOVATION NOTES

- BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY EXISTING CONDITIONS AND COMPARE RESULTS WITH INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. REPORT ANY INCONSISTENCIES TO THE ARCHITECT AT ONCE.
- 3. "ALIGN" AS INDICATED ON THE DRAWINGS SHALL BE UNDERSTOOD TO MEAN THE WALLS OR COLUMNS INDICATED. WORK OF THE ENGINEERING DISCIPLINES IS SHOWN ON THE ARCHITECTURAL DRAWINGS FOR COORDINATION PURPOSES ONLY. REFER TO APPROPRIATE DISCIPLINE DRAWINGS FOR COMPLETE AND GOVERNING INFORMATION REGARDING THEIR WORK. INCOMPLETE, INCONSISTENT, OR MISSING ENGINEERING INFORMATION ON ARCHITECTURAL DRAWINGS SHALL NOT BE CONSTRUED AS BINDING FOR THAT WORK.
- D. DO NOT SCALE DRAWINGS, USE DIMENSIONS ONLY.
- . DIMENSIONS ARE TYPICALLY SHOWN TO:
- E.A. COLUMN CENTERLINES E.B. FACE OF UNIT MASONRY E.C. FACE OF FINISHED WALLS
- REFER TO A721 FOR EQUIPMENT LOCATIONS AND SCHEDULES OF OWNER/CONTRACTOR INSTALLING AND FURNISHING
- G. REFER TO SHEET A700 FOR FLOOR FINISH PATTERN AND MATERIAL FINISH LEGEND.
- H. DOOR FRAMES MOUNTED IN STUD FRAMED GYPSUM WALLS ARE LOCATED 4" FROM THE ROOM CORNER TO OUTSIDE FACE OF FRAME UNLESS NOTED OTHERWISE.
- CONTRACTOR TO COORDINATE WITH ALL EQUIPMENT VENDORS, INCLUDING HEADWALLS, FOR ALL LOCATIONS OF BOXES, PIPES, CONDUITS, ETC. PRIOR TO COMMENCING WORK.
- COMPLETELY PATCH, TRIM, BUSH, REPAIR, AND REFINISH ANY DAMAGED OR IMPERFECT COLUMNS, SURFACES, OR SIMILAR CONDITIONS AFFECTED PRIOR TO, DURING, OR AS A RESULT OF CONSTRUCTION OR DEMOLITION. CEILING RENOVATION NOTES
- A. SEE A700 FINISH LEGEND AND FINISH SCHEDULE FOR CEILING TYPES AND MATERIALS.
- CEILING GRIDS OR TILES TO BE CENTERED IN ALL ROOMS IN BOTH DIRECTIONS UNLESS NOTED OTHERWISE. PARTIAL TILES SHALL NOT BE LESS THAN 6" IN EITHER DIMENSION. PARTIAL TILES SHALL BE CUT FROM TILES OF THE SAME TYPE.
- COORDINATE REFLECTED CEILING PLANS WITH ELECTRICAL, MECHANICAL, FIRE PROTECTION AND ROOM FINISH INFORMATION.
- IN THE CASE OF MINOR DISCREPANCIES IN LOCATION OF CEILING MOUNTED COMPONENTS. THE REFLECTED CEILING PLAN SHALL GOVERN. IN THE CASE OF MAJOR DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED BEFORE PROCEEDING WITH THE WORK.
- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR MOUNTING LOCATIONS OF ITEMS WHERE NO CEILING IS
- REQUIRED OR INDICATED.
- . ALL CEILING HEIGHTS TO MATCH EXISTING UNO.
- CONTRACTOR TO VERIFY ALL PREVIOUSLY INSTALLED CONSTRUCTION CONDITIONS PRIOR TO FABRICATION OR STARTING OF CEILING CONSTRUCTION.
- LIGHTS, DIFFUSERS, EXIT SIGNS, SMOKE DETECTORS, SPEAKERS, GENERAL ALARM/SPEAKERS/STROBES, AND MISC. DEVICES SHALL BE CENTERED IN THE CEILING TILES IN WHICH THEY OCCUR, UNO. REFER TO MECHANICAL AND ELECTRICAL FOR LOCATION.
- SPRINKLER HEADS SHALL BE LOCATED IN CENTER ZONE OF CEILING TILE. ALL CORRIDOR SPRINKLER HEADS SHALL BE ALIGNED IN THE SAME LOCATION PARALLEL TO THE WALL WITHIN EACH SPECIFIC CEILING CONSTRUCTION.
- I. ALL CUBICLE CURTAIN TRACKS MUST CLEAR DOOR SWINGS BY 3" MINIMUM.
- K. PROVIDE ACCESS PANELS IN ROOMS WITH GYPSUM BOARD WALLS AND CEILINGS AT DUCT DAMPER CONTROLS, DUCT MOUNTED SMOKE DETECTORS, MANUAL DUCT CONTROLS, VALVES, JUNCTION BOXES, FCU'S AND ANY RELATED DEVICES AS REQUIRED.
- CFILING SFISMIC DETAILS ARE PROVIDE TO ILLUSTRATE THE GENERAL REQUIREMENTS OF CISCA GUIDELINES FOR SEISMIC D RESTRAINT AND IBC CHAPTER 16. CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE PROVISIONS OF THESE STANDARDS. IN CASE OF CONFLICT, THE MORE STRINGENT STANDARD WILL PREVAIL. REFER
- M. REFER TO LIFE SAFETY PLAN GOO3 FOR WALL FIRE RATINGS. SMOKE RESTRICTIVE WALLS AND FIRE RATED WALLS EXTEND ABOVE CEILING TO BOTTOM OF DECK.
- N. ALL SOFFIT DIMENSIONS TO BE VERIFIED WITH EQUIPMENT.

GENERAL NOTES

- . EXISTING CONDITIONS SHOWN ON DRAWINGS BASED ON INFORMATION PROVIDED BY THE OWNER. THIS INFORMATION IS FOR REFERENCE ONLY AND MUST BE VERIFIED BY THE CONTRACTORS.
- B. ALL WORK PERFORMED ON EXISTING WARRANTED SYSTEMS OR ASSEMBLIES SHOULD BE PERFORMED BY APPROVED CONTRACTORS FOR SUCH ASSEMBLIES AND IN SUCH A MANNER THAT EXISTING WARRANTIES ARE NOT VOIDED OR JEOPARDIZED IN ANY MANNER.
- C. REFER TO SHEET GOO3 LIFE SAFETY PLAN FOR LOCATIONS OF FIRE RATINGS.
- . WALL DIMENSIONS SHOWN ON PLANS ARE TO FACE OF GWB UNO. DIMENSIONS FROM EXISTING CONSTRUCTION ARE FROM FACE OF EXISTING FINISH SUBSTRATE UNO.
- CONSTRUCTION MATERIALS OR CONSTRUCTION PROCESSES WHICH ARE HAZARDOUS TO WORKERS OR FUTURE OCCUPANTS ARE NOT PERMITTED.
- THE CONSTRUCTION SUBSYSTEMS AND PARTITION TYPES SHOWN INDICATE THE GENERAL CONSTRUCTION FEATURES OF THE WORK TO BE COMPLETED. THEY ARE NOT INTENDED TO REPRESENT THE ENTIRE CONSTRUCTION PROCESS

AND ACCESSORIES USED. THE CONTRACTORS ARE RESPONSIBLE FOR COMPLETED SYSTEMS AND TO BE IN

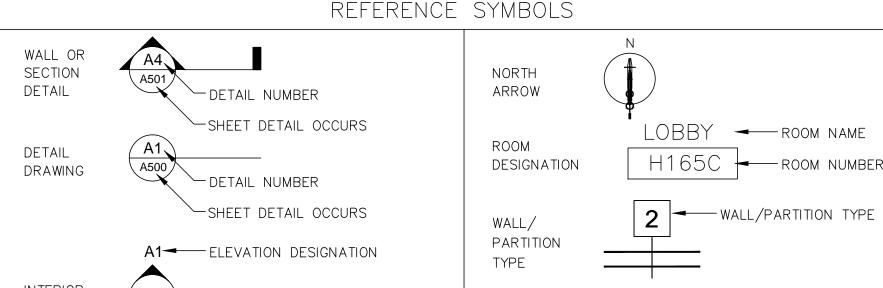
- COMPLIANCE WITH GOVERNING CODES AND THE INTENT OF THE CONSTRUCTION DRAWINGS. TESTING AND CODE REFERENCES USED IN THESE DRAWINGS BY ABBREVIATION. OTHER TESTING AGENCIES ARE
 - ACCEPTABLE IF IN COMPLIANCE WITH TESTING STANDARDS. . SEE STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS BY OTHER FOR ADDITIONAL NOTES AND
 - REFERENCES. DETAILS ARE SHOWN TO DESCRIBE DESIGN INTENT. COORDINATE COMPLETE SHOP DRAWINGS, SHOWING ALL CONSTRUCTION DETAILS AND LAYOUTS AS REQUIRED FOR A COMPLETE JOB, ADHERING TO THE MANUFACTURER'S

SHOWN AND AS SPECIFIED. EXISTING SPRAY FIRE-RESISTIVE MATERIAL TO BE PATCHED AS REQUIRED DUE TO

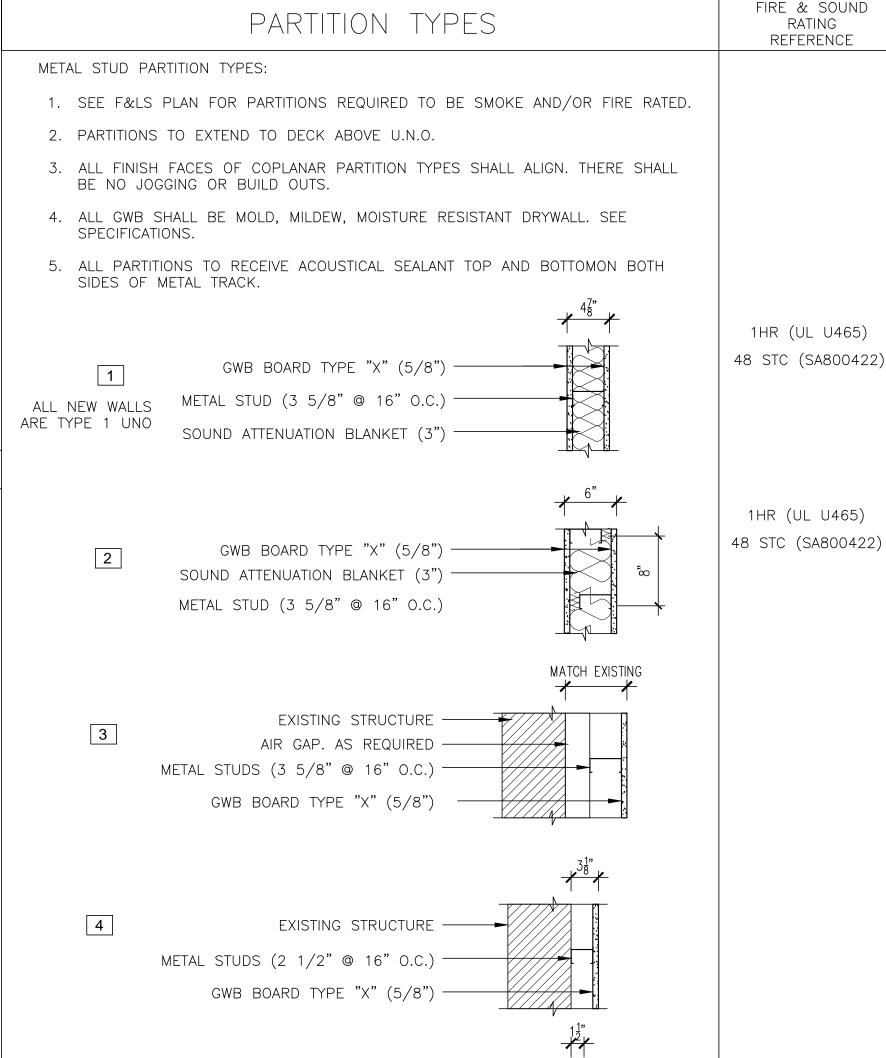
- WARRANTIES AND LOCAL AND STATE CODES. CEMENTITIOUS SPRAY FIRE-RESISTIVE MATERIAL IS REQUIRED ON ALL NEW AND EXISTING STEEL SURFACES WHERE
- WORK OF OTHER TRADES. . PROVIDE ACCESS PANELS WHERE NEEDED TO ACCESS VALVES, EQUIPMENT, FILTERS, ETC. EVEN IF NOT NOTED IN
- THE CONTRACTOR IS TO PROVIDE DUST PARTITIONS AND TACKY MATS AS NECESSARY AROUND DEMOLITION OR NEW CONSTRUCTION TO PROTECT THE OWNER'S OPERATIONS. DUST PARTITIONS SHALL BE OF NON-COMBUSTIBLE MATERIALS (INCLUDING DOORS AND FRAMES) AND MAINTAINED IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION. REFER TO THE INTERIM LIFE SAFETY PLANS AND CONTRACTOR ACCESS PLAN FOR ADDITIONAL
- I. THE CONTRACTOR SHALL SCHEDULE ALL WORK INCLUDING ANY INTERRUPTION OF UTILITIES PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AN UPDATED SCHEDULE AND COORDINATING CHANGES WITH OWNER AND ARCHITECT.
- BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY EXISTING CONDITIONS AND COMPARE RESULTS WITH INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. REPORT ANY
- O. "ALIGN" AS INDICATED ON THE DRAWINGS SHALL BE UNDERSTOOD TO MEAN THE WALLS OR COLUMNS INDICATED.
- WORK OF THE ENGINEERING DISCIPLINES IS SHOWN ON THE ARCHITECTURAL DRAWINGS FOR COORDINATION PURPOSES ONLY. REFER TO APPROPRIATE DISCIPLINE DRAWINGS FOR COMPLETE AND GOVERNING INFORMATION REGARDING THEIR WORK. INCOMPLETE, INCONSISTENT, OR MISSING ENGINEERING INFORMATION ON ARCHITECTURAL DRAWINGS SHALL NOT BE CONSTRUED AS BINDING FOR THAT WORK.
- Q. DO NOT SCALE DRAWINGS, USE DIMENSIONS ONLY.

INCONSISTENCIES TO THE ARCHITECT AT ONCE.

- R. REFER TO PROJECT MANUAL FOR SUPPLEMENTARY GENERAL CONDITIONS, DEBRIS REMOVAL AND SAFETY PRECAUTIONS
- S. CASEWORK DIMENSIONS SHALL BE FIELD-VERIFIED PRIOR TO FABRICATION AND INSTALLATION.



INTERIOR A300 - SHEET WHERE ELEVATION OCCURS **ELEVATION** B1 ← ELEVATION DESIGNATION



EXISTING STRUCTURE —

METAL HAT CHANNEL (7/8" @ 16" O.C.) -

GWB BOARD TYPE "X" (5/8")

۰ ۰ omba

COMPASS 5

PARTNERS, LLC

Columbia, SC

C-100254

MARYELDYD

CANNIZZARO

3.27.14

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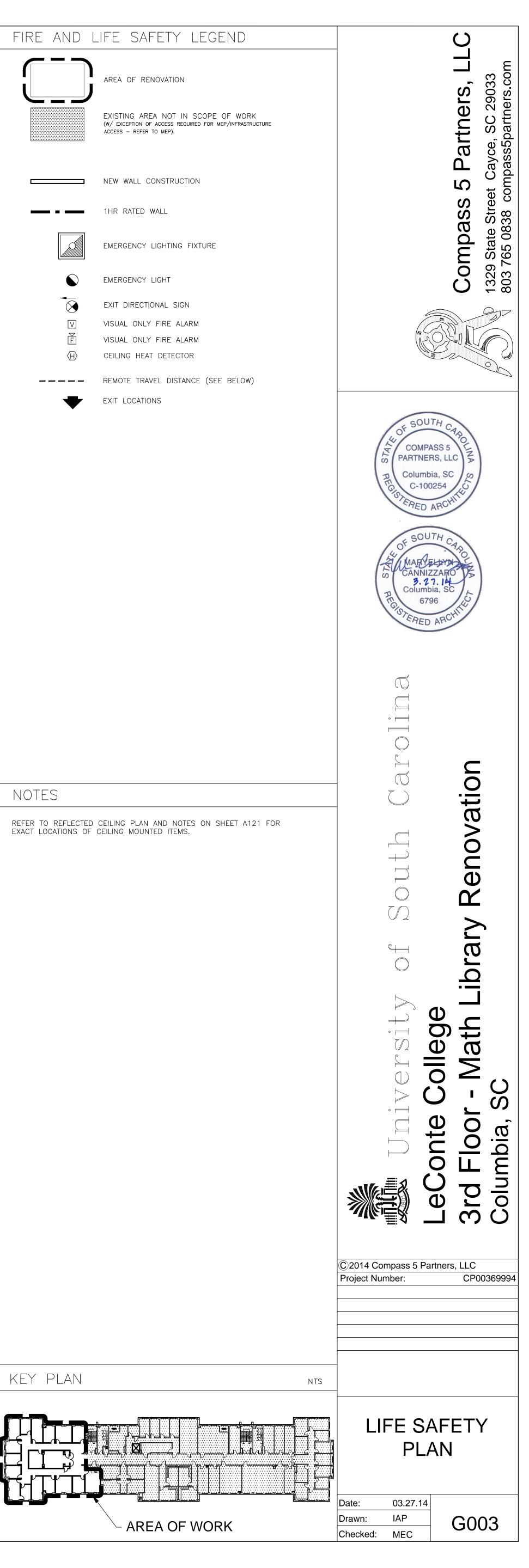
CODE SHEET, GENERAL NOTES & LEGEND

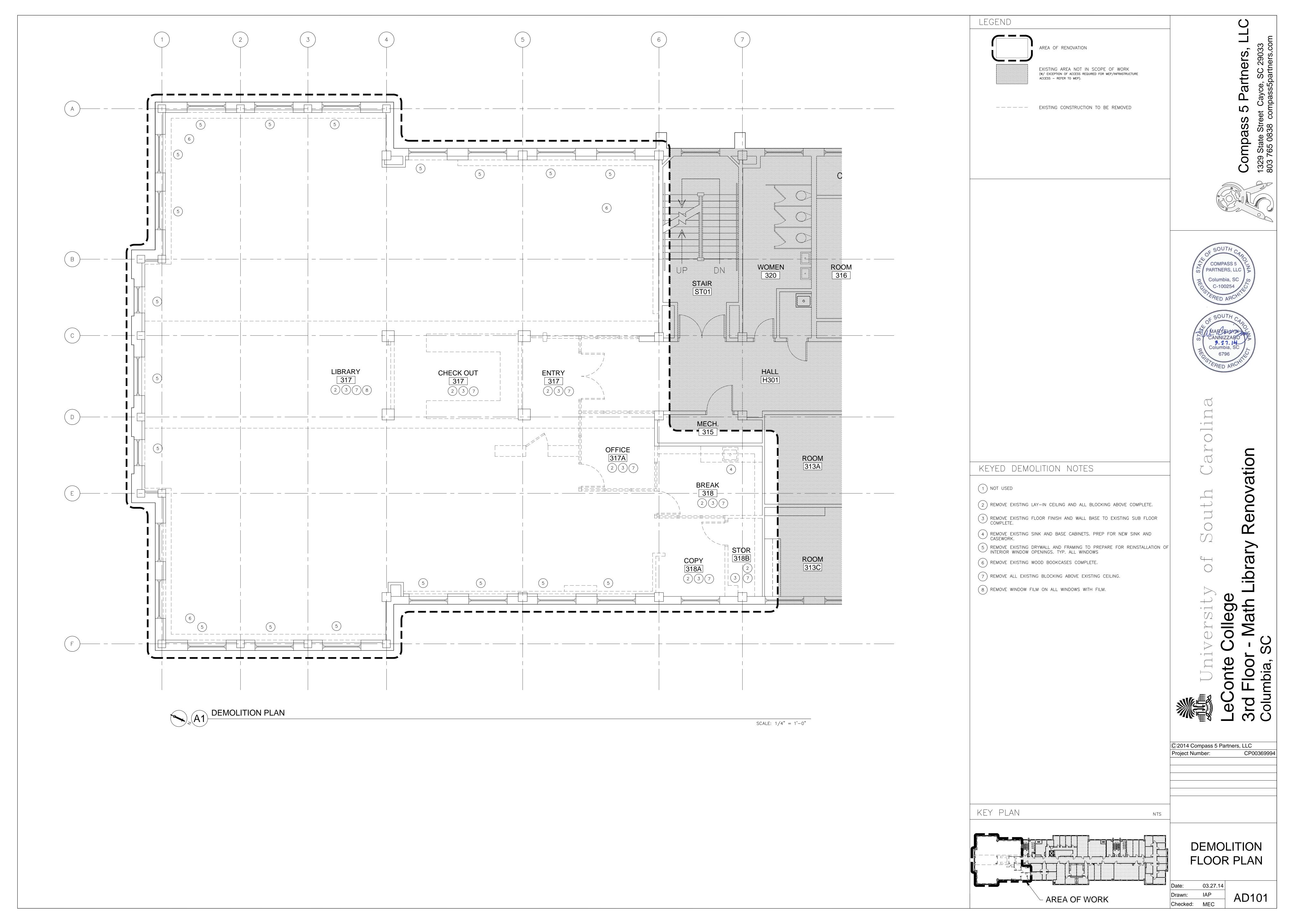
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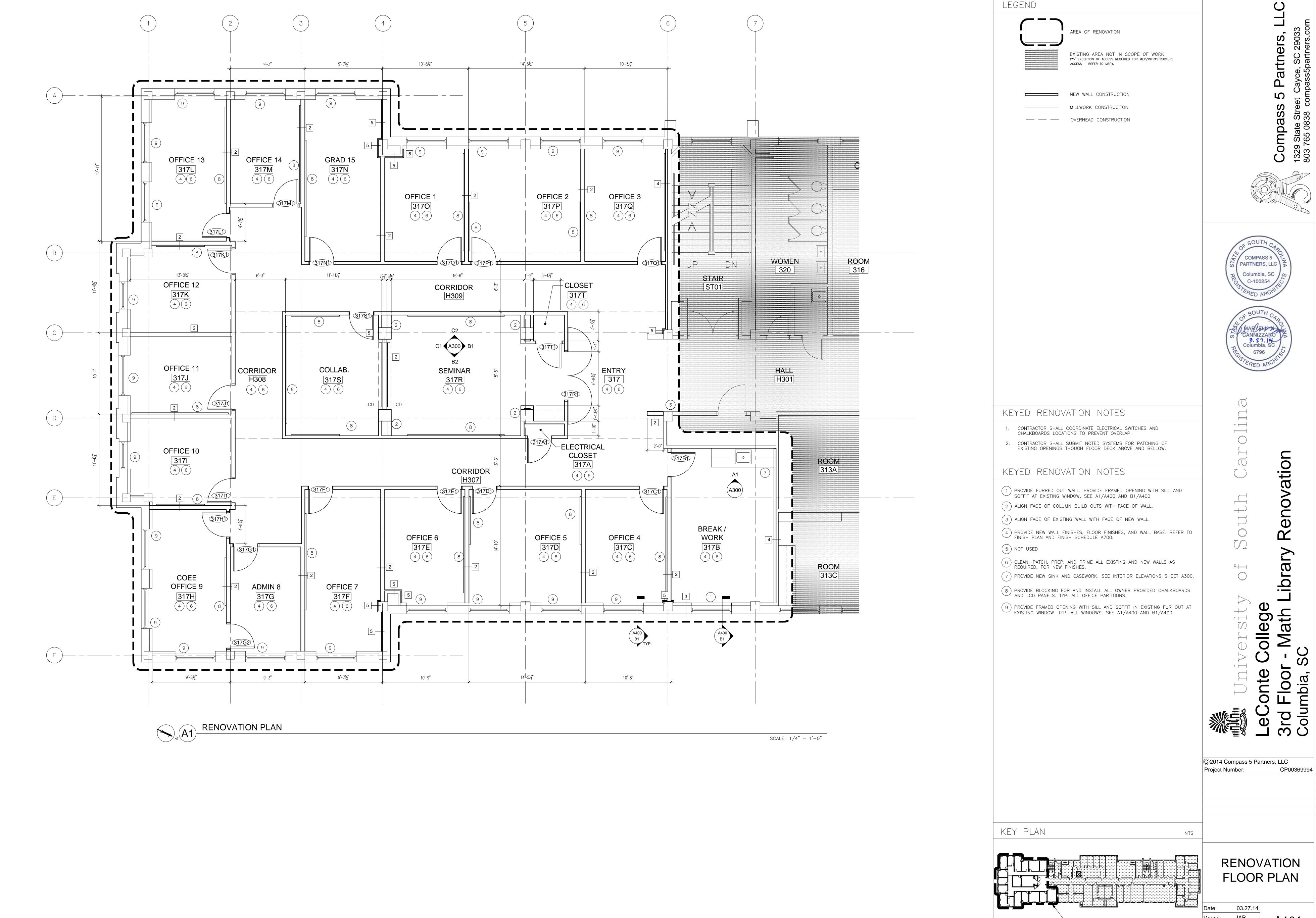
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G002



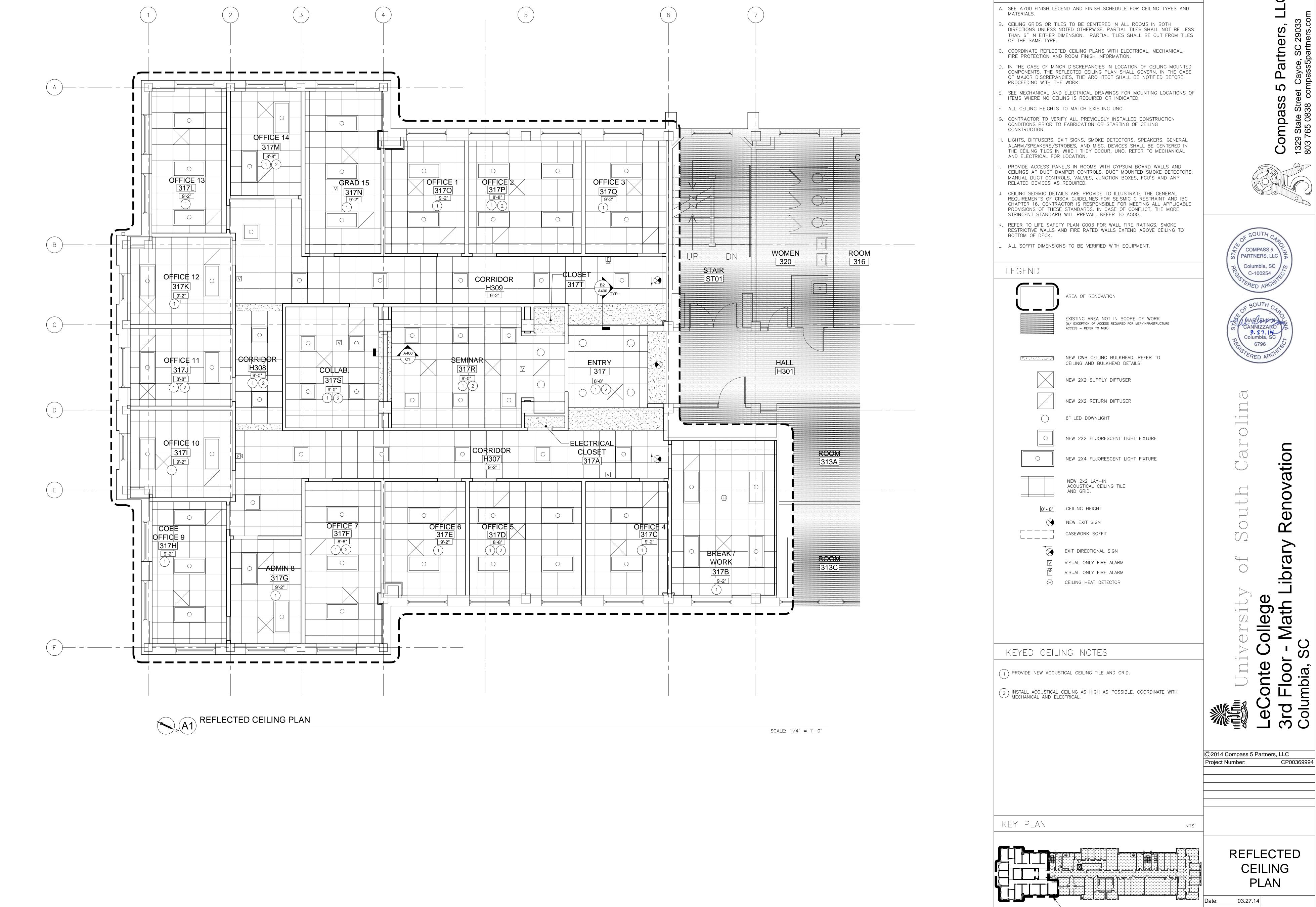






- AREA OF WORK

A101 Checked: MEC



CEILING RENOVATION NOTES

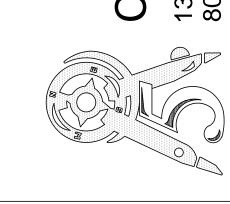
Checked: MEC

- AREA OF WORK

A121

GENERAL CASEWORK NOTES

- A. COLOR MATCH CAULK WITH EITHER PLASTIC LAMINATE FINISH OR WITH WALL. CONFIRM WITH ARCHITECT.
- B. ALL PLASTIC LAMINATE FINISHES TO BE INSTALLED WITH WOOD GRAIN RUNNING VERTICALLY. (TYP. U.N.O.)
- C. ALL DOOR AND DRAWER FRONTS TO BE PLASTIC LAMINATE W/ 3"MM EDGE BAND. COLOR TO MATCH CABINET LAMINATES. SEE SPECIFICATIONS. PLASTIC LAMINATE DESIGNATIONS INDICATED FOR REFERENCE ONLY.
- D. CONTRACTOR SHALL FIELD VERIFY ALL WALL DIMENSIONS PRIOR TO CASEWORK FABRICATION.
- E. WALL CABINETS ARE 13" DEEP U.N.O.
- F. BASE AND STORAGE CABINETS ARE 24" DEEP U.N.O.
- G. REFER TO INTERIOR ELEVATIONS FOR WALL CABINET SOFFIT LOCATIONS.
- H. CABINETS TO RECEIVE BASE TO MATCH ADJACENT WALL BASE U.N.O. REFER TO A511 FOR FINISH LEGEND AND SCHEDULE.
- . ALL FILLER STRIPS TO MATCH ADJACENT CABINETS. PROVIDE EQUAL FILLER STRIP AT BOTH SIDES U.N.O.
- J. PROVIDE FINISHED END PANELS WHERE REQUIRED AT BASE AND WALL
- K. REFER TO PROJECT MANUAL FOR CASEWORK SPECIFICATION.
- .. REFER TO ELEVATIONS AND TO A501 CASEWORK SECTIONS FOR CASEWORK
- M. INTERIOR OF CASEWORK TO RECEIVE MELAMINE FINISH U.N.O. SEE SPECIFICATION.
- N. EQUIPMENT SHOWN ON THIS SHEET FOR COORDINATION ONLY.
- O. COORDINATE ELECTRICAL AND DATA OUTLET LOCATIONS WITH CASEWORK PRIOR TO INSTALLING CASEWORK.
- P. ALL CASEWORK SURFACES, CABINET INTERIERS AND SHELVING TO RECEIVE PLASTIC LAMINATE ON ALL EXPOSED SIDES.
- Q. CAULK ALL EDGES OF LAMINATES AND SOLID SURFACE MATERIAL WHERE MATERIALS ABUT OTHER SURFACES AND FINISHES AND AT ALL INTERIOR AND EXTERIAL SEAMS AND CORNERS COMPLETE. PROVIDE BACKER ROD FOR ALL GAPS GREATER THAN 1/4".







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INTERIOR

ELEVATIONS AND DETAILS

03.27.14

A300

CP00369994

PATCH AND REPAIR ALL EXISTING DOOR

FRAMES TO REMAIN PRIOR TO PAINTING.

— WALL TYPE VARIES. SEE SHEETS A101 FOR WALL TYPE DESIGNATION.

- LATEX SEALANT ALL SIDES.

PROPRIETARY HOLLOW METAL

FRAME BY TOTALDOOR. SEE SPECIFICATIONS.

SCALE: $1 \frac{1}{2} = 1' - 0''$

FIRE

RATING

RATING

2" SCHED. 2"

HM-1

FRAME ELEVATIONS

SCALE: 1/4" = 1'-0"

B4) DOOR HEAD DETAIL

SCHEDULE

FRAMES

HARDWARE

1 SET 3

METAL HM-1 SET 2 1HR

METAL HM-1 SET 1 1HR

METAL HM-1 SET 1 1HR

METAL | HM-1 | SET 1 | 1HR

METAL HM-1 SET 1 1HR

| METAL | HM-1 | SET 1 | 1HR

METAL HM-1 SET 1 1HR

METAL HM-1 SET 1 | 1HR

METAL HM-1 SET 1 | 1HR

| METAL | HM-1 | SET 1 | 1HR

METAL HM-1 SET 1 | 1HR

METAL HM-1 SET 1 1HR

METAL HM-1 SET 1 1HR

METAL HM-1 SET 4 1HR

A | METAL | HM-1 | SET 1 | 1HR

WOOD A METAL HM-1 SET 3 -

A METAL HM-1 SET 1 1HR

METAL HM-1 SET 1

METAL HM-1 SET 1

DOOR ELEVATIONS

SCALE: 1/4" = 1'-0"

- WALL TYPE 6. SEE SHEETS G002 & A104 FOR WALL TYPE DESIGNATION.

-LATEX SEALANT ALL SIDES.

- HOLLOW METAL FRAME. SEE

- 4 "Z" CLIPS PER JAMB

DOOR SCHEDULE.

HINGE AS SCHEDULED

DOOR HARDWARE BEYOND.

SEE DOOR SCHEDULE.

CONFIRM HEAD AND JAMB DEPTHS. VERIFY IN FIELD.

SCALE: $1 \frac{1}{2} = 1'-0"$

DOOR

WOOD

D 0 0 R

 $317A1 \quad 3'-0" \times 7'-0" \times 1 \quad 3/4"$

 $317B1 \quad 3'-0" \times 7'-0" \times 1 3/4"$

 $317C1 \quad 3'-0" \times 7'-0" \times 1 \quad 3/4"$

317D1 3'-0" x 7'-0" x 1 3/4"

317E1 3'-0" x 7'-0" x 1 3/4"

 $317F1 \mid 3'-0" \times 7'-0" \times 1 3/4"$

 $317G1 \quad 3'-0" \times 7'-0" \times 1 \quad 3/4"$

317G2 3'-0" x 7'-0" x 1 3/4"

 $317H1 \quad 3'-0" \times 7'-0" \times 1 \quad 3/4"$

317|1 | 3'-0" x 7'-0" x 1 3/4"

 $317J1 \quad 3'-0" \times 7'-0" \times 1 \quad 3/4"$

 $317K1 \quad 3'-0" \times 7'-0" \times 1 \quad 3/4"$

 $317L1 | 3'-0" \times 7'-0" \times 1 3/4"$

 $317M1 \quad 3'-0" \times 7'-0" \times 1 \quad 3/4"$

 $317N1 | 3'-0" \times 7'-0" \times 1 3/4"$

31701 3'-0" x 7'-0" x 1 3/4"

 $317P1 \mid 3'-0" \times 7'-0" \times 1 3/4"$

 $317Q1 \quad 3'-0" \times 7'-0" \times 1 \quad 3/4"$

317S1 3'-0" x 7'-0" x 1 3/4"

 $317T1 \mid 3'-0" \times 7'-0" \times 1 3/4"$

 $317R1 (2)3'-0" \times 7'-0" \times 1 3/4"$



















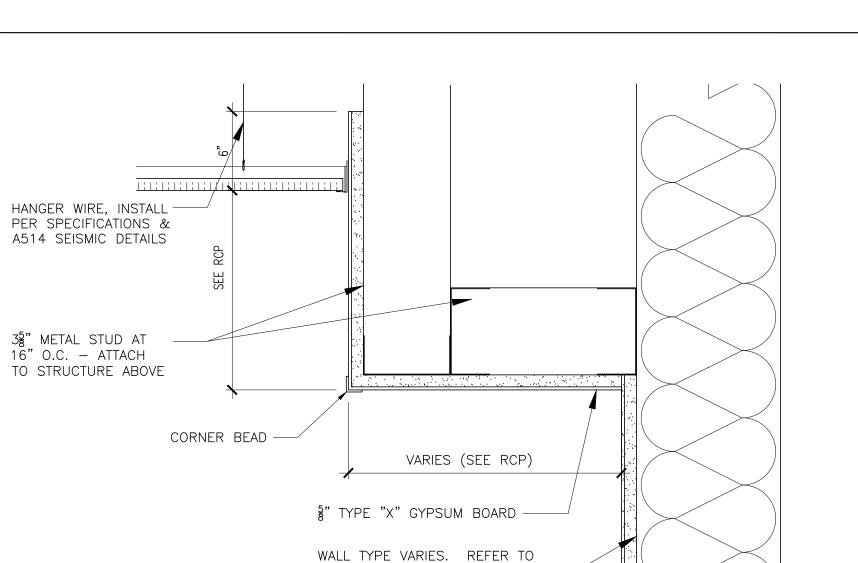
Library college Math

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> DOOR SCHEDULE &

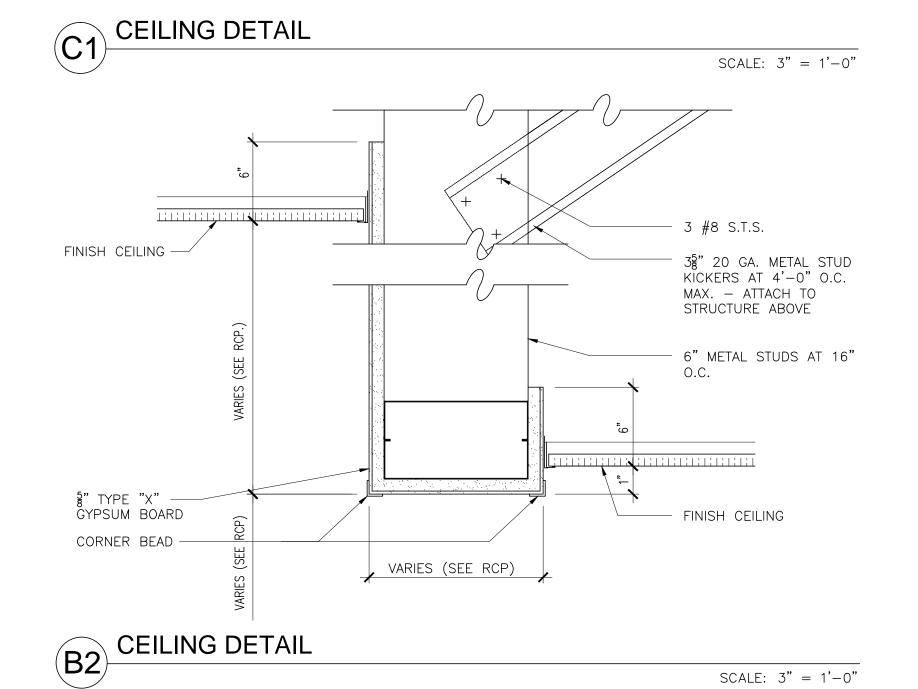
DETAILS 03.27.14

A400 Checked: MEC



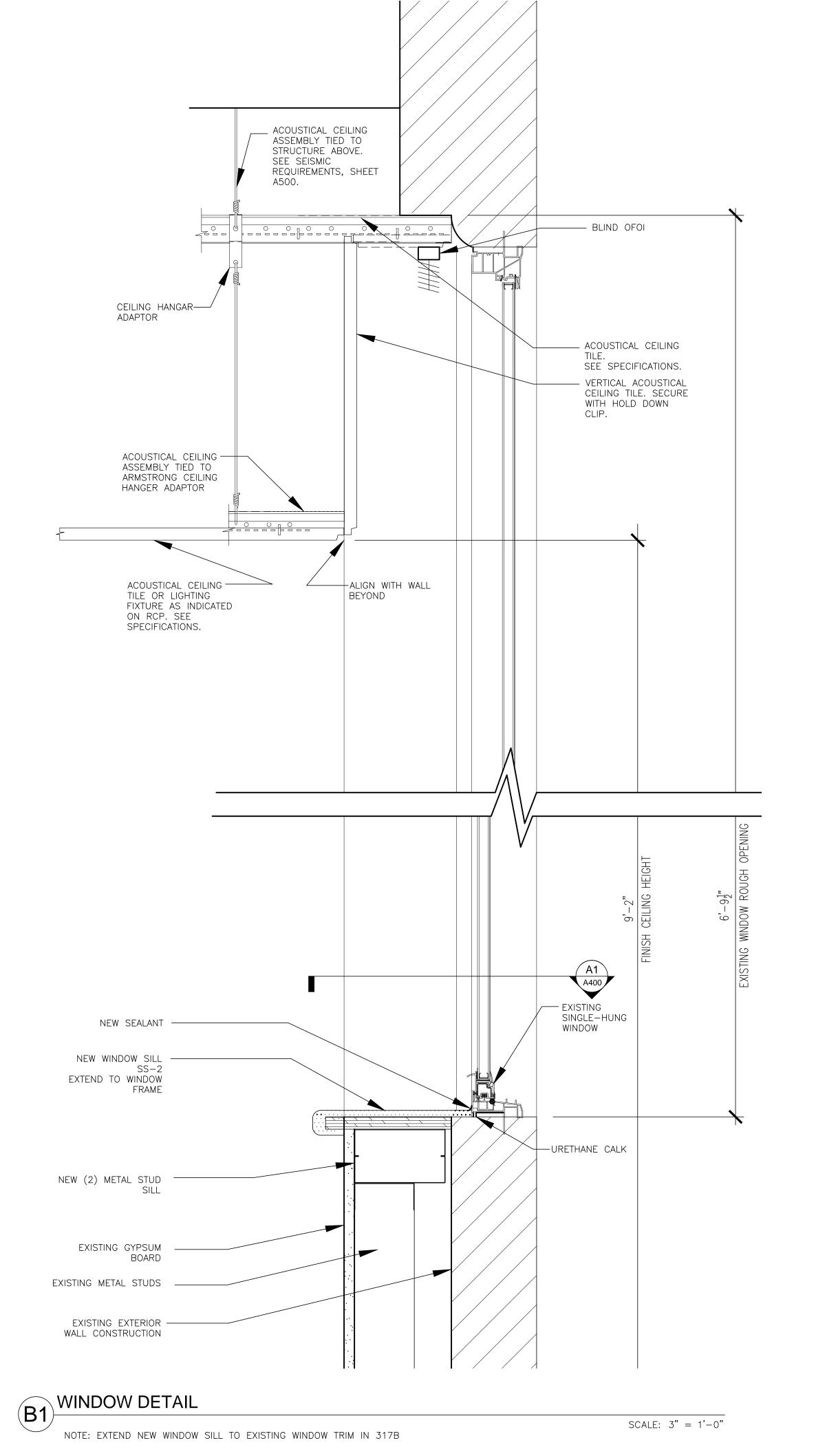
PLANS AND CONSTRUCTION -

SUBSYSTEMS FOR WALL TYPE.

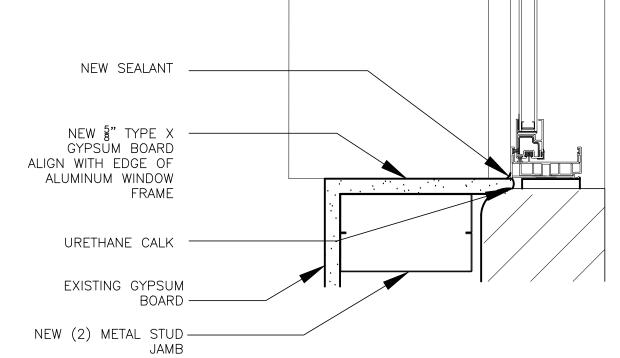


HARDWARE SCHEDULE

T NUMBER	DOORS		FINISH
SET1	317H1, 317I1, 3	317E1, 317F1, 317G1, 317G2, 17J1, 317K1, 317L1, 317M1, 317P1, 317Q1, 317S1.	
	3 Hinges	HA BB1279 4-1/2 x 4-1/2	26D
	1 Office Lock	DM 45H-7A15H	626
	1 Closer	DM8616 AF86P	AL
	1 Wall Stop	HA 236W	32D
	3 Silencers	HA 307D	Grey
	1 Kickplate	HA 190S	US32D
SET2	317B1		
	3 Hinges	HA BB1279 4-1/2 x 4-1/2	26D
	1 Passage Set	BE 45H-0N15H	626
	1 Closer	DM8616 AF86P	AL
	1 Wall Stop	HA 236W	32D
	3 Silencers	HA 307D	Grey
	1 Kickplate	HA 190S	US32D
SET3	317A1, 317T1		
	3 Hinges	HA BB1279 4-1/2 x 4-1/2	26D
	1 Storeroom Lock	45H-7D15H	626
	1 Wall Stop	HA 236W	32D
	3 Silencers	HA 307D	Grey
	1 Kickplate	HA 190S	US32D
SET4	317R1		
	6 Hinges	HA BB1279 4-1/2 x 4-1/2	26D
	1 AfficeFlushk Bolts	BA 29HD-7A15H	886
	1 Dummy Trim	BE 45H-1DT15H	626
	2 Closers	DM8616 AF86P	AL
	1 Coordinator	HA 297D	BLK
	1 Filler Bar	HA 297F	BLK
	2 Wall Magnet	HA 307D	AL
	2 Wall Stop	HA 236W	32D
	2 Silencers	HA 307D	Grey
	1 Kickplate	HA 190S	US32D







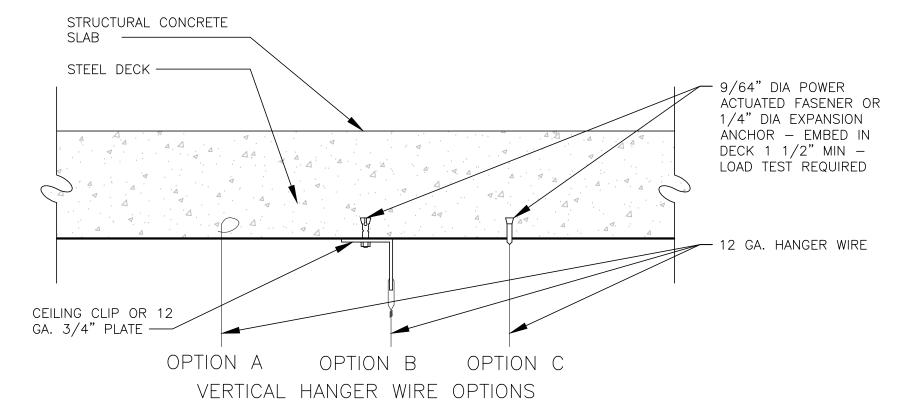
JAMB DETAIL A1 JAMB DETAIL

NOTE: EXTEND NEW GYPSUM BOARD TO EXISTING WINDOW TRIM IN 317B

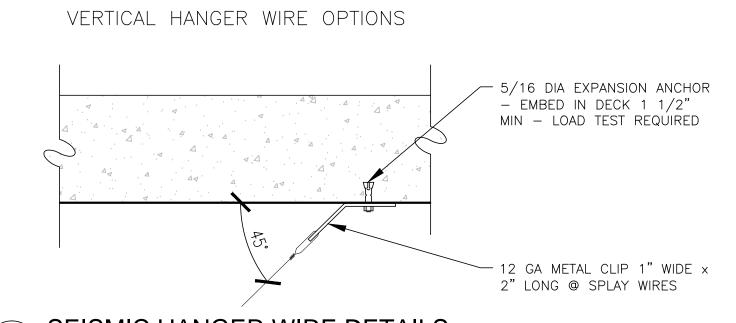
SCALE: 3" = 1'-0"

SEISMIC CLIP. 1 PER — CORNER (4 REQ.) └── FIXTURE - #8 1/4" SHEET METAL SCREW BY OTHERS - TEE TRACK

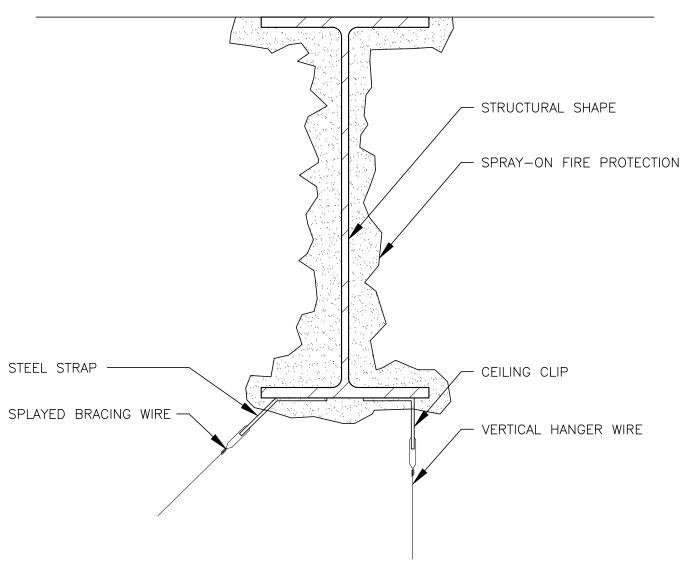




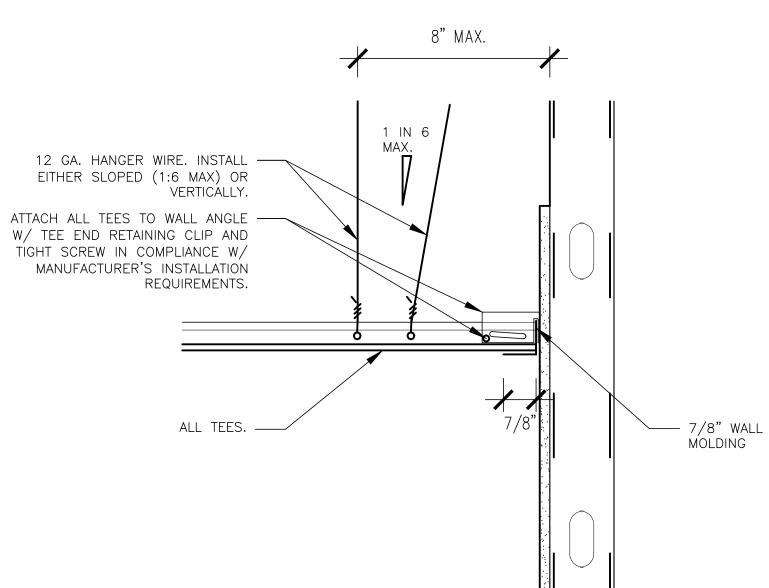
SCALE: NTS



B1) SEISMIC HANGER WIRE DETAILS SCALE: 3" = 1'-0"







$\sqrt{\sqrt{2}}$	SEISMIC CEILING SECTION
AZ	UNATTACHED

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CEILING DETAILS

Partners,

Compass

COMPASS 5 PARTNERS, LLC

Columbia, SC

C-100254

CANNIZZARO 3.27.14 Columbia, SC

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03.27.14 Checked: MEC

A500

W/ TEE END RETAINING CLIP AND — UNATTACHED

LATERAL BRACING LOCATION X HANGER WIRES

CL TEE END RESTRAINING CLIP W/ LOOSE SCREW

CEILING SEISMIC "C" BRACE PLAN AND SCHEDULE

CODE COMPLIANCE INFORMATION

COMPLY WITH CEILING DETAILS SHOWN ON SHEET A500

SEISMIC REQUIREMENTS FOR CEILINGS 144 GSF OR GREATER

REQUIREMENTS

NOTE: USE HEAVY DUTY GRID

#12 @ 4' O.C./#10 @ 5' O.C.

NOT MORE THAN 1 IN 6 OR 10" FROM VERTICAL

MIN. 100LBS.

MAXIMUM 8" FROM ALL WALLS

NOTE: USE HEAVY DUTY GRID

REQUIRED OVER 1000 SF.

MIN. 200LBS.

MIN. 7/8"

MAX. 6' FROM PERIMETER WALLS 12' O.C.

REQUIRED (CONDUIT/STEEL STUD)

NOTE: USE HEAVY DUTY GRID

REQUIRED @ 2 ADJACENT WALLS 3/4" @ 2 ADJACENT WALLS

ALLOWED WITH BRACING, UNDER 2,500 SF

SUSPEND FROM STRUCTURE, NOT GRID

NOTE: USE HEAVY DUTY GRID

2 CONNECTORS/2 SLACK WIRES

ATTACHED TO GRID

2 SLACK WIRES

MECHANICAL GREATER THAN 56LBS SUSPEND FROM STRUCTURE, NOT GRID

____ UNATTACHED WALL

12' MAX

PROPRIETARY MANUFACTURER'S INSTALLATIONS SHALL

CATEGORY

CONNECTIONS/HANGERS

INTERSECTION STRENGTH

HANGERS

CONNECTION DEVICES

SPLAY BRACING

4 WIRE CLUSTERS

FIRST POINT

COMPRESSION POSTS

MOLDING

SPACER BARS

PARTITION ATTACHMENT

LIGHTS LESS THAN 56LBS

MECH GREATER THAN 20LBS, LESS THAN 56LBS.

6' M∳X

LIGHTS GREATER THAN 56LBS

MECHANICAL LESS THAN 20LBS

LIGHTING/FIXTURES

SPACING

CONNECTION STRENGTH

MOLDING/PARTITIONS

ATTACHMENT (NO MOVEMENT)

CLEARANCE (FREE TO MOVE)

PERIMETER WIRES — ALL WALLS

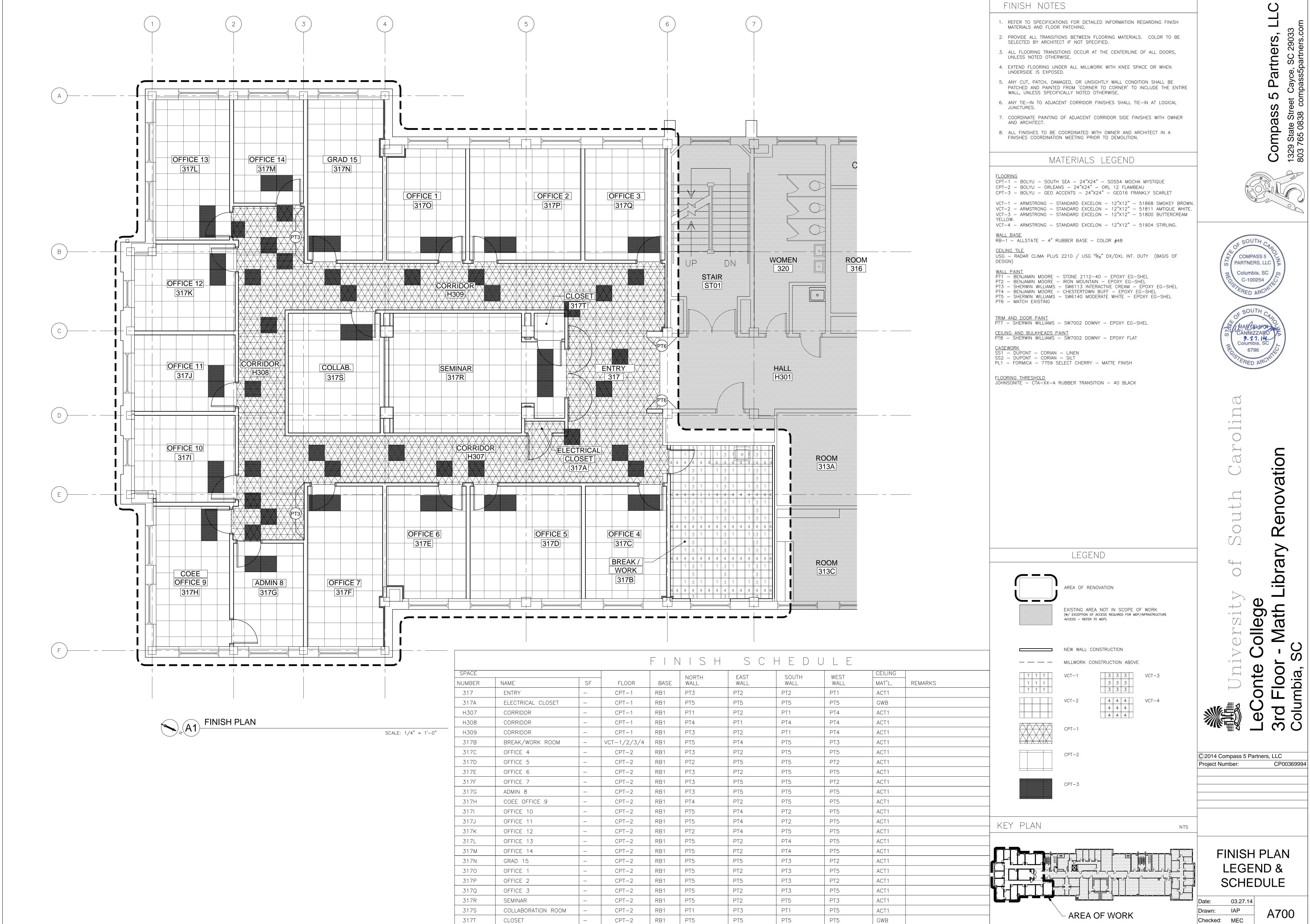
PLUMB

SCALE: NTS

UNATTACHED WALL

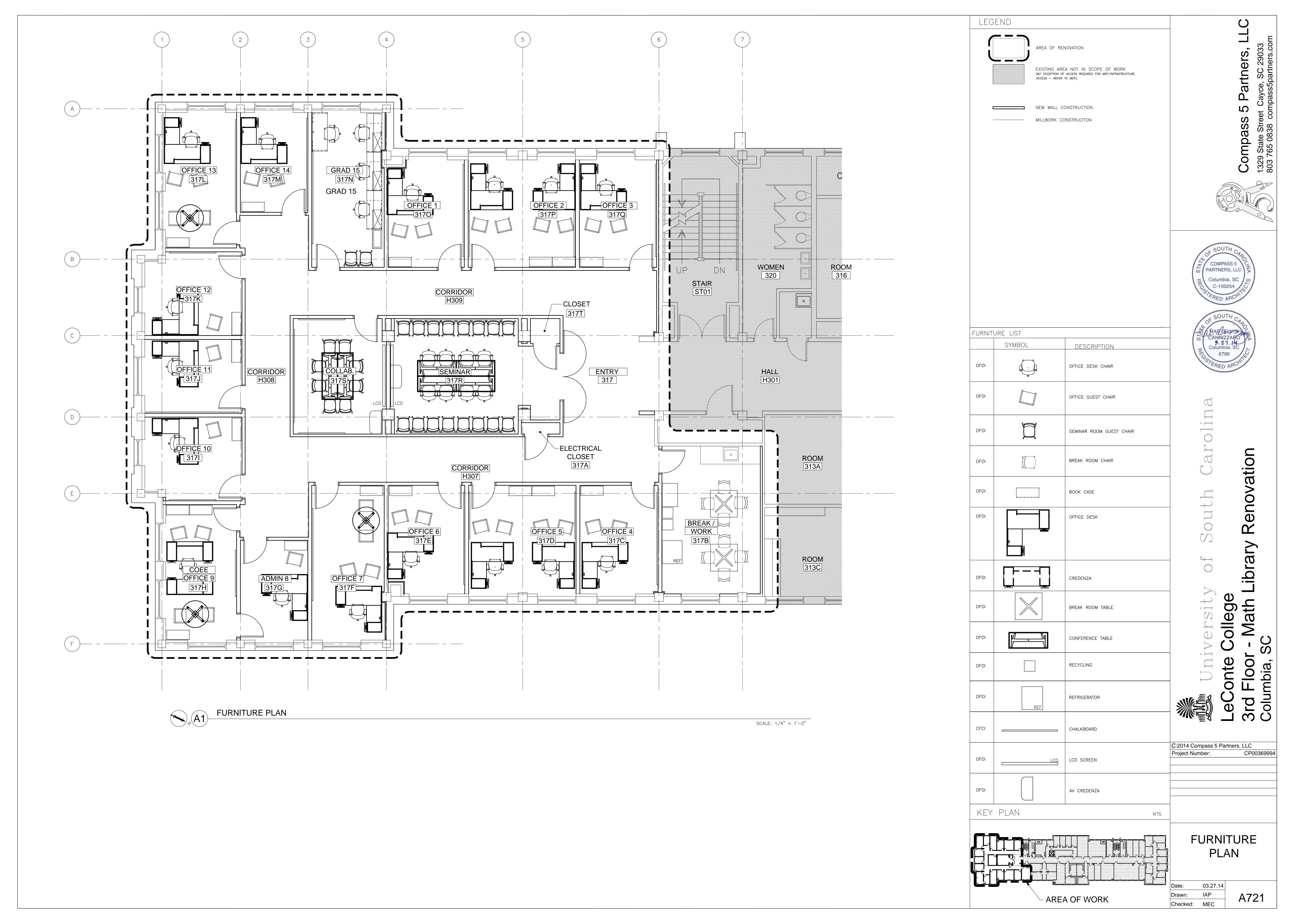
UNATTACHED —

SCALE: 3" = 1'-0"



RB1

PT5



Compass

- . ALL WORK SHALL BE PERFORMED ACCORDING TO ALL LOCAL, STATE, NATIONAL CODES, AND THE 2012 INTERNATIONAL PLUMBING CODE. 2. DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS, FIXTURE LOCATIONS, ETC.
- 3. COORDINATE CLOSELY WITH ALL WORK DONE UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE AND CONFLICT.
- 4. SUBMIT ALL EQUIPMENT AND PRODUCTS PROPOSED TO BE USED FOR THIS PROJECT PRIOR TO ORDERING. SUBMIT SIX COPIES OF DATA SHEETS TO THE ENGINEER, BOUND IN A SINGLE VOLUME FOR APPROVAL.
- . igoplus Connection point of New to existing.

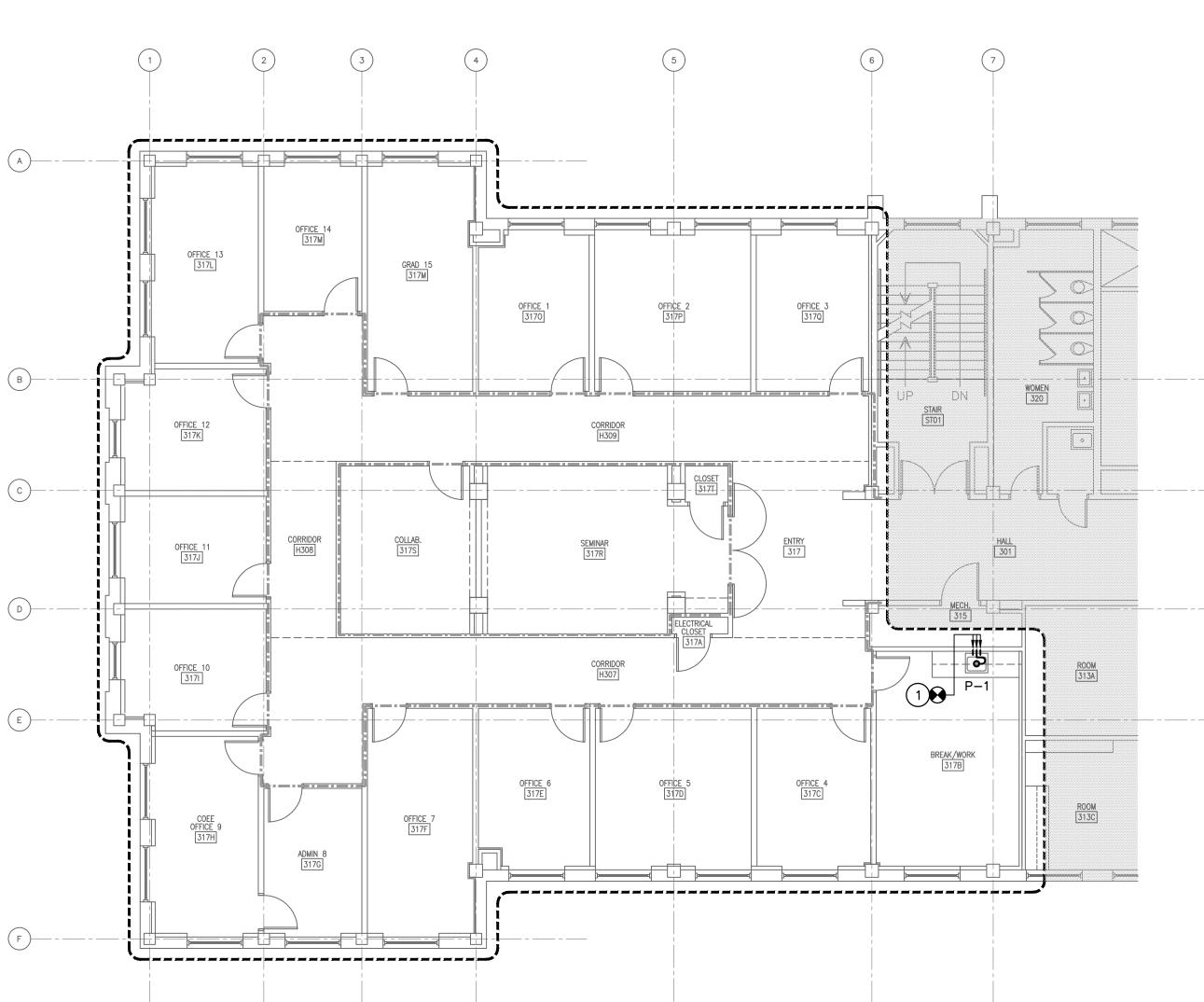
DEMOLITION NOTES

EXISTING PLUMBING FIXTURE TO BE REMOVED. EXISTING SUPPLY, WASTE AND VENT PIPING TO BE REUSED FOR NEW FIXTURE.

NOTES TO SHEET

1) CONNECT TO EXISTING WASTE, VENT AND SUPPLY PIPING. TRANSITION AS REQUIRED.





PLUMBING FIXTURE SCHEDULE

SIZE

22"x19½"

MFGRS. NO.

LUSTERTONE LRAD-2219-

FIXTURE

SINK

MFGR.

ELKAY

NAME

MIN. SUPPLY

CW HW

REMARKS

FAUCET WITH SPRAY HOSE, LK-35 CUP STRAINER, McGUIRE

SUPPLIES WITH STOPS, AND McGUIRE 8912 1-1/2" P-TRAP.

H2167 1/2" CAST BRASS

1/2" 1/2" WITH DELTA MODEL 400LF-HDF

FLOOR PLANS, NOTES, AND SCHEDULE

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CP00369994

Project Number:

DBA Swygert & Assoc., Ltd.
Post Office Box 11686
Columbia, S.C. 29211

Telephone: (803) 791-9300
Facsimile: (803) 791-0830
mail@swygert-associates.com

03.27.14 Checked:

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Swygert & Associates
CONSULTING ENGINEERS

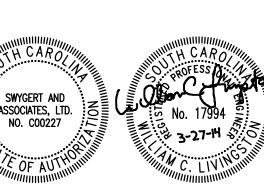
DEMOLITION FLOOR PLAN

P100 SCALE: 1/8" = 1'-0" RENOVATION FLOOR PLAN

P100 SCALE: 1/8" = 1'-0"

- 3 REMOVE EXISTING THERMOSTAT AND RELOCATE AS SHOWN ON SHEET M100.

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DEMOLITION FLOOR PLAN

Swygert & Associates CONSULTING ENGINEERS DBA Swygert & Assoc., Ltd.
Post Office Box 11686
Columbia, S.C. 29211

Telephone: (803) 791-9300
Facsimile: (803) 791-0830
mail@swygert-associates.com

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Swygert & Associates

RENOVATION FLOOR PLAN

CONSULTING ENGINEERS

DBA Swygert & Assoc., Ltd. Post Office Box 11686 Columbia, S.C. 29211 Telephone: (803) 791-9300 Facsimile: (803) 791-0830 mail@swygert-associates.com

Date: 03.27.14

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CP00369994

DETAILS, NOTES, SCHEDULES, AND LEGEND

Checked:

Project Number:

03.27.14

FAN COIL SCHEDULE (FOUR PIPE) HEATING COIL ENVIRO-TEC | AIRFLOW | O.A. RUN RUN CFM CFM EADB/WB LADB/WB GPM P.D.-FT. GPM P.D.-FT. OUTS REMARKS OUTS EΑ LA 98.9 3/4" 1,2,3,4,5 650 80/67 56.2/54.8 3.3 6.2 3/4" 1.8 60 80/67 95.7 HLP 50 900 57.9/56.3 4.4 3.9 0.6 3/4 1,100 220 80/67 57.1/55.5 5.4 6.5 96.4 0.9 3/4 1,100 80 80/67 57.1/55.5 5.4 6.5 70 96.4 2.2 0.9 3/4 1,2,3,4,5 HLP 60 1,200 100 80/67 57.4/55.8 5.6 6.6 0.9 3/4 1,2,3,4,5 70 95.8 2.3 HLP 60

COOLING CAPACITY BASED ON 48°F ENTERING WATER AND 10°F RISE. HEATING CAPACITY BASED ON 180°F ENTERING WATER AND 30°F DROP.

PROVIDE WITH STAINLESS STEEL DRAIN PAN AND FACTORY MADE DRIP TRAY MANUFACTURED TO PROVIDE COMPLETE COVERAGE UNDER VALVE PACKAGE. PROVIDE FACTORY MOUNTING OF CONTROLS AS PROVIDED BY JOHNSON CONTROLS. PROVIDE WITH FACTORY WIRED DISCONNECT SWITCH.

	AIR DISTRIBUTION SCHEDULE											
TAG	DESCRIPTION	MANUFACTURER	MODEL	FRAME	CFM	NECK SIZE	FACE SIZE	MAX NC	REMARKS			
A	UNIFLOW SUPPLY	PRICE	ASPD	LAY-IN	126-250	8"ø	24"x24"	30	1,2			
B	UNIFLOW SUPPLY	PRICE	ASPD	LAY-IN	251-350	10"ø	24"x24"	30	1,2			
0	UNIFLOW SUPPLY	PRICE	ASPD	LAY-IN	351-550	12"ø	24"x24"	30	1,2			
0	PERFORATED RETURN	PRICE	APDDR	LAY-IN	0-1000	22"x22"	24"×24"	30	1,2			

. PROVIDE WITH STANDARD WHITE FINISH. 2. PROVIDE ALUMINUM CONSTRUCTION.

BY DIVISION 23 COMBINATION FIRE AND SMOKE - POWER WIRING DAMPER BY DIVISION 26 ___ TO FIRE ALARM PANEL BY DIVISION 26 ACTUATOR -CONTROL WIRING - DUCT DETECTOR PROVIDED

BY DIVISION 26 AND

INSTALLED BY DIVISION 23

120 VAC JUNCTION BOX —

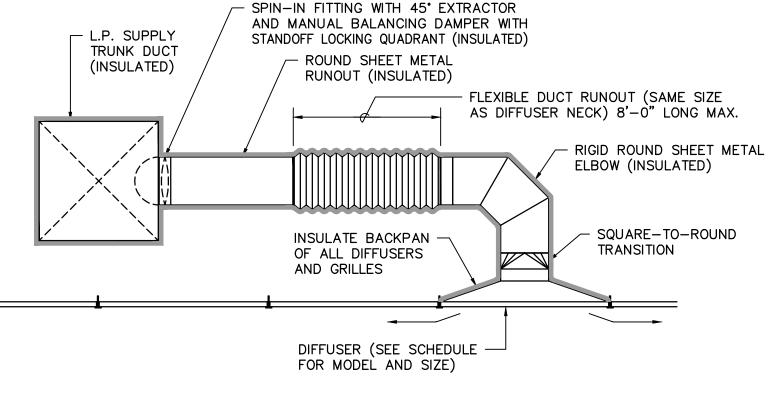
BY DIVISION 26

POWER WIRING

BY DIVISION 23

COMBINATION FIRE/SMOKE DAMPER WIRING DETAIL

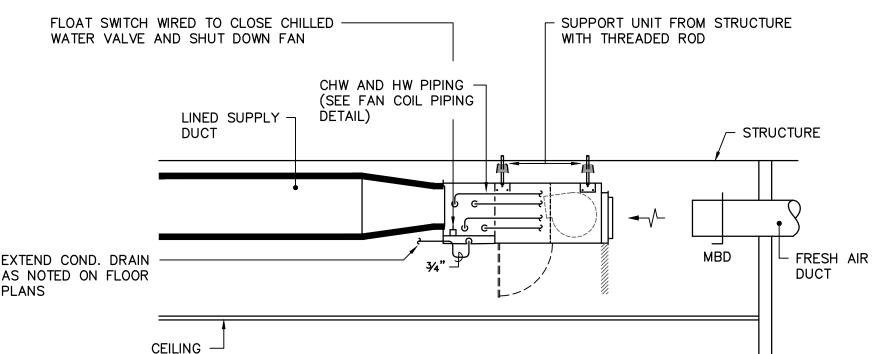
NO SCALE



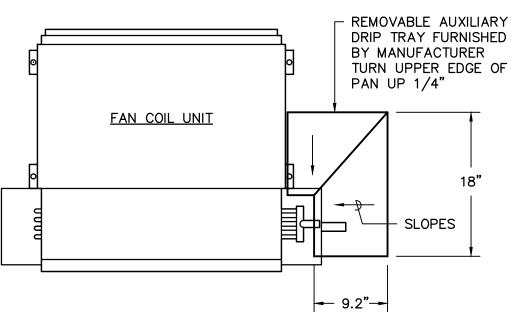
CEILING DIFFUSER DETAIL NO SCALE

RETURN GRILLE DETAIL

NO SCALE



CONCEALED FAN COIL UNIT DETAIL NO SCALE



FAN COIL UNIT AUXILIARY DRIP TRAY DETAIL

NO SCALE

LINED SHEET METAL -INTERIOR SURFACE MUST BE BLACK SAME SIZE AS GRILLE NECK SIZE LAY-IN CEILING -RETURN GRILLE; SEE AIR DISTRIBUTION SCHEDULE GRID AND TILES FOR GRILLE SIZE

CONNECTION POINT OF NEW TO EXISTING

GENERAL NOTES

VISIT SITE PRIOR TO BIDDING. THIS CONTRACTOR SHALL DETERMINE DIFFICULTY

CEILING PLANS FOR EXACT LOCATIONS OF DOORS, WINDOWS, AIR DISTRIBUTION,

2. DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS AND REFLECTED

3. DO NOT SCALE DRAWINGS. THIS CONTRACTOR SHALL VERIFY ALL EXISTING

. ALL PIPING AND DUCTWORK INSULATION SHALL BE RUN CONTINUOUSLY

7. ALL MECHANICAL ITEMS EXTENDING THROUGH WALLS SHALL BE FLASHED.

8. ALL PIPING IS SHOWN DIAGRAMMATIC. HOWEVER, THIS CONTRACTOR SHALL

9. EXTEND ALL DRAIN LINES TO MAIN CONDENSATE DRAIN- SO ROUTED AS TO

10. ALL VALVES AND SPECIALTIES SHALL BE LINE SIZE UNLESS NOTED OTHERWISE,

. MINIMUM PIPE SIZE SHALL BE 3/4-INCH UNLESS INDICATED OTHERWISE.

13. ALL DUCTWORK SPECIFIED TO BE LINED SHALL BE INCREASED IN SIZE TO

12. ALL PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH THE SPECIFICATIONS AND FURTHER SUPPORTS OR HANGERS SHALL BE PROVIDED TO PREVENT

14. SPACE ABOVE CEILING TO BE USED AS RETURN AIR PLENUM WHERE DUCT IS

15. ALL OPEN END DUCTS SHALL HAVE 1/4-INCH MESH GALVANIZED SCREEN IN

17. THIS CONTRACTOR SHALL PROVIDE ALL ITEMS OF MISCELLANEOUS STEEL AS

18. THIS CONTRACTOR SHALL DO ALL CONTROL WIRING. DIVISION 26 WILL DO ALL

19. LOCATE ALL SPACE CONTROL INSTRUMENTS 4'-0" ABOVE FINISHED FLOOR.

21. CORRECT SETTINGS ON ALL BALANCING FITTINGS SHALL BE PERMANENTLY

22. HORIZONTAL FAN COIL UNITS SHALL BE SUSPENDED TIGHT TO FLOOR SLAB

23. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY DISMANTLING

24. THE HVAC SYSTEMS SHALL NOT BE OPERATED DURING HEAVY CONSTRUCTION

ACTIVITIES, OR OTHER ACTIVITIES THAT CREATE AIRBORNE PARTICLES OR

OF EQUIPMENT TO BE REMOVED. ITEMS REMOVED UNDER THIS CONTRACT SHALL

BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF

OPERATIONS INCLUDING MASONRY, GYPSUM BOARD SANDING, HEAVY CLEANUP

DEBRIS. ALL SYSTEMS SHALL BE CLEAN OF CONSTRUCTION DEBRIS, DUST AND

DIRT AT FINAL COMPLETION. DUCT CLEANING AND UNIT/COIL CLEANING SHALL

LEGEND

CHILLED WATER SUPPLY LINE

CHILLED WATER RETURN LINE

HOT WATER SUPPLY LINE

HOT WATER RETURN LINE

STRAINER WITH BLOWDOWN

THERMOMETER / PRESSURE GAGE

THERMOMETER WELL CAPPED / GAGE COCK

COMBINATION SMOKE/FIRE DAMPER W/ 120V ACTUATOR

MANUAL OPPOSED BLADE BALANCING DAMPER

RETURN, EXHAUST, FRESH AIR DUCTWORK

PIPE TURNS TO, AWAY

CONCENTRIC REDUCER

TYPE "A" DIFFUSER, 100 CFM

RECTANGULAR SUPPLY DUCTWORK

48"x24" RECTANGULAR DUCT

ECCENTRIC REDUCER

THERMOSTAT

SHUTOFF VALVE

CHECK VALVE

DESCRIPTION

MARKED. PROVIDE ORANGE FLAGGING RIBBON ON EACH DAMPER HANDLE FOR

20. CAP PNEUMATIC LINES AS REQUIRED DURING DEMOLITION TO MAINTAIN

POWER WIRING. ALL WIRING SHALL BE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE. CONTROL WIRING SHALL BE CONCEALED WITHIN WALL AND ALL CONTROL WIRING SHALL BE ROUTED IN EMT CONDUIT. DUCT DETECTORS PROVIDED BY DIVISION 26 SHALL BE INSTALLED BY DIVISION 23. POWER WIRING AND FIRE ALARM CONNECTIONS SHALL BE BY DIVISION 26. CONTROL WIRING FOR SMOKE

16. PROVIDE FOR ACCESS TO ALL EQUIPMENT REQUIRING CLEANING OR

REQUIRED FOR INSTALLATION OF ALL MECHANICAL ITEMS.

USING ECCENTRIC REDUCERS ON PUMP SUCTION AND CONCENTRIC REDUCERS ON PUMP DISCHARGE. USE ECCENTRIC REDUCERS ON AUTOMATIC VALVES AS

AVOID INTERFERENCE WITH PASSAGEWAYS AND MAINTENANCE.

WEIGHT OF PIPING BEING PLACED ON EQUIPMENT.

NOT INDICATED ABOVE RETURN AIR GRILLES.

DAMPER CONTROL SHALL BE BY DIVISION 23.

PROVIDE ALL REQUIRED FITTINGS, PIPING AND INSULATION FOR ALL OFFSETS

4. ALL PIPING AND DUCTWORK LOCATIONS SHALL BE COORDINATED WITH WORK

UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE.

5. WATER SYSTEMS SHALL BE DRAINED AS REQUIRED FOR INSTALLATION OF WORK.

UPON COMPLETION, SYSTEM SHALL BE FILLED WITH WATER AND VENTED OF ALL

OF INSTALLATION AND REFLECT THIS IN HIS BIDDING.

ITEMS AND LOCATIONS IN THE FIELD.

THROUGH FLOORS, ROOFS AND PARTITIONS.

AND/OR CHANGES IN ELEVATION.

REQUIRED.

ALLOW FOR LINER.

REMOVABLE FRAME.

OPERABLE SYSTEM.

EASY IDENTIFICATION.

BE PERFORMED IF REQUIRED.

SYMBOL

CHWS —

← CHWR ←

 \longrightarrow HWS \longrightarrow

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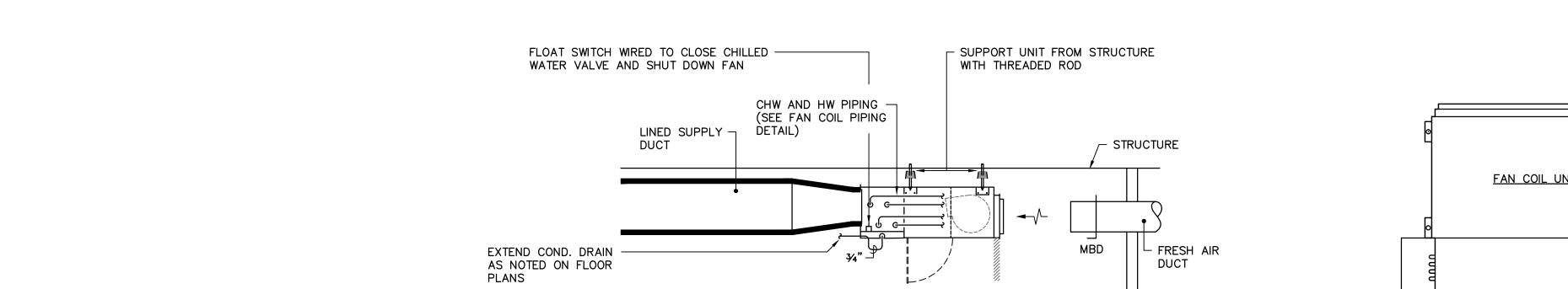
MBD

48x24

Swygert & Associates

DBA Swygert & Assoc., Ltd.
Post Office Box 11686
Columbia, S.C. 29211

Telephone: (803) 791-9300
Facsimile: (803) 791-9300
mail@swygert-associates.com



	ELECTRICAL SYMBOL LEGEND
=	20 AMP DUPLEX RECEPTACLE, FLUSH MOUNTED IN WALL AT 18" AFF UNLESS NOTED OTHERWISE.
⇒GFI	20 AMP DUPLEX RECEPTACLE, FLUSH MOUNTED IN WALL AT 42" AFF OR 6" ABOVE COUNTER BACKSPLASH (GFI = GROUND FAULT INTERRUPTER)
=	20 AMP DOUBLE DUPLEX (QUAD) RECEPTACLE, FLUSH MOUNTED IN WALL AT 18" AFF UNLESS NOTED OTHERWISE.
	6—GANG ELECTRICAL FLOOR BOX MOUNTED FLUSH IN FLOOR. PROVIDE A 20 AMP DUPLEX RECEPTACLE. REMAINING GANGS SHALL BE FOR VOICE, DATA, AND A/V CABLING BY OWNER.
◁	COMMUNICATIONS JUNCTION BOX, FLUSH MOUNTED IN WALL AT 18" AFF UNLESS NOTED OTHERWISE. PROVIDE A 4" SQUARE x 2" DEEP STEEL BOX WITH SINGLE-GANG PLASTER RING AND BLANK PLASTIC/PHENOLIC WALLPLATE.
⟨ -	COMMUNICATIONS JUNCTION BOX, FLUSH MOUNTED IN WALL AT 42" AFF OR 6" ABOVE COUNTER BACKSPLASH UNLESS NOTED OTHERWISE. PROVIDE A 4" SQUARE x 2" DEEP STEEL BOX WITH SINGLE-GANG PLASTER RING AND BLANK PLASTIC/PHENOLIC WALLPLATE.
⊘	WI-FI DATA ACCESS POINT MOUNTED ABOVE CEILING TILE. (N.I.C. — FOR OWNERS INFORMATION ONLY).
Ю	JUNCTION BOX, FLUSH MOUNTED IN WALL AT 18" AFF UNLESS NOTED OTHERWISE. FUNCTION AS INDICATED ON PLAN.
F⊄	AUDIO/VISUAL FIRE ALARM INDICATING DEVICE, MOUNTED SEMI-FLUSH IN WALL AT 96" AFF TO TOP OF BOX. (NUMBER INDICATES CANDELA RATING)
H∇	VISUAL—ONLY FIRE ALARM INDICATING DEVICE, MOUNTED SEMI—FLUSH IN WALL AT 96" AFF TO TOP OF BOX. (NUMBER INDICATES CANDELA RATING)
S	SPOT TYPE SMOKE DETECTOR, CEILING MOUNTED IN CEILING.
H	HEAT DETECTOR, CEILING MOUNTED IN CEILING.
H_DH>	ELECTRONIC DOOR HOLDER. TIED TO FIRE ALARM SYSTEM.
AIU	FIRE ALARM SYSTEM ADDRESSABLE INTERFACE UNIT, CONTROL OR MONITOR TYPE AS APPLICABLE. MOUNT IN A NEMA 1 ENCLOSURE.
+⊗ ⊕	EXIT SIGN, WALL OR CEILING MOUNTED AS INDICATED (ARROWS INDICATE DIRECTIONAL CHEVRONS)
\$	LIGHTING SWITCH, MOUNTED FLUSH IN WALL AT 48" T.O.B. (TOP OF BOX)
	WALL SWITCH OCCUPANCY SENSOR, MOUNTED FLUSH IN WALL AT 48" T.O.B. (TOP OF BOX)
\$ 0	DIMMER LIGHTING SWITCH, MOUNTED FLUSH IN WALL AT 48" T.O.B. (TOP OF BOX)
• 0	LIGHTING FIXTURES (SEE FIXTURE SCHEDULE ON THIS SHEET)
	CEILING MOUNTED OCCUPANCY SENSOR
H(II)	CORNER MOUNTED OCCUPANCY SENSOR
	EXISTING CCTV CAMERA TO REMAIN
"E" — DENOT	ES EXISTING DEVICE TO REMAIN IN PLACE

"R" - DENOTES EXISTING DEVICE TO BE REMOVED AND DEMOLISHED BY ELECTRICAL CONTRACTOR

"ER" - DENOTES EXISTING DEVICES TO BE RELOCATED. DISCONNECT AND REMOVE DEVICE AND STORE IN A CLEAN AND DRY LOCATION. RE—INSTALL IN LOCATION SHOWN ON RENOVATION PLANS. EXTEND EXISTING CABLING AND RACEWAY TO NEW LOCATION.

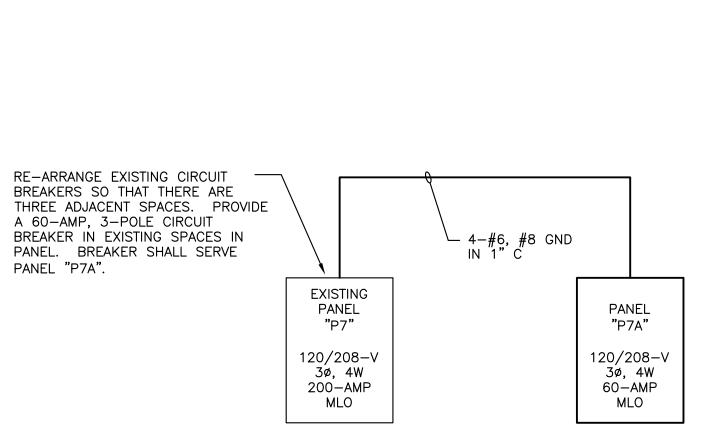
"SM" - DENOTES SURFACE MOUNTED BOX AND DEVICE

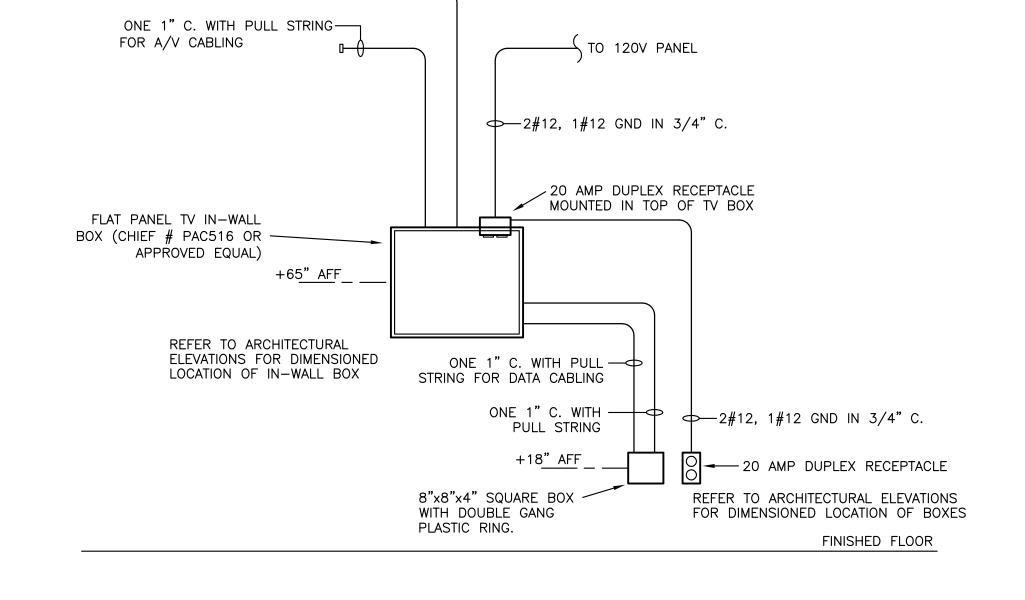
120/208V, 3 PH., 4W, 60 HZ 200 AMP M.B. OR M.L.O. FLUSH MOUNTED 10,000 A.I.C. SYM. (MINIMUM)										EXISTING PANEL "P7" FEDERAL PACIFIC
LOADS SERVED	BKR. AMP	LOAD KVA	CKT. NO.	(:	5 /	N)	CKT. NO.	LOAD KVA	BKR. AMP	LOADS SERVED
XISTING LOAD	20		1		b		2	_	20	EXISTING LOAD
XISTING LOAD	20	<u> </u>	3				4	_	20	EXISTING LOAD
XISTING LOAD	20	_	5				6	_	20	EXISTING LOAD
XISTING LOAD	20	 _	7			<u> </u>	8	_	20	EXISTING LOAD
XISTING LOAD	20	_	9			<u> </u>	10	_	20	EXISTING LOAD
XISTING LOAD	20	 	11				12	_	20	EXISTING LOAD
XISTING LOAD	20	_	13		-	<u> </u>	14	_	20	EXISTING LOAD
XISTING LOAD	20	_	15		-	<u> </u>	16	_	20	EXISTING LOAD
XISTING LOAD	20	 	17				18	_	20	EXISTING LOAD
XISTING LOAD	20	_	19	1	♦	<u> </u>	20	_	20	EXISTING LOAD
XISTING LOAD	20	 	21		-	$+\sim$	22	_	20	EXISTING LOAD
XISTING LOAD	20	_	23				24	_	20	EXISTING LOAD
XISTING LOAD	20	_	25	<u> </u>	-	 	26	_	20	EXISTING LOAD
XISTING LOAD	20	_	27	 	-	 	28	_	15	EXISTING LOAD
XISTING LOAD	20	_	29	<u> -</u> ^_		- T-	30	_	0	
XISTING LOAD	20	_	31	<u> -</u> ^-	•	+	32	_	20	EXISTING LOAD
XISTING LOAD	20	_	33	<u> -</u> ^-	-	+	34	_	-	SPACE
XISTING LOAD	20	_	35	<u> -</u>		<u> </u>	36	_	15	EXISTING LOAD
XISTING LOAD	20	_	37	<u> -^-</u>	•	$+ \frown$	38	_	15	EXISTING LOAD
PACE	_	_	39]	-	$+ \frown$	40	_	-	
PACE	_	_	41	<u> </u>		-	42	_	1	SPACE
XISTING LOAD XISTING LOAD	20 20 -	_ _ _	35 37 39 41			ADS (KV ØC (36 38 40 42 (A)	_ _	15 -	EXISTING LOAD

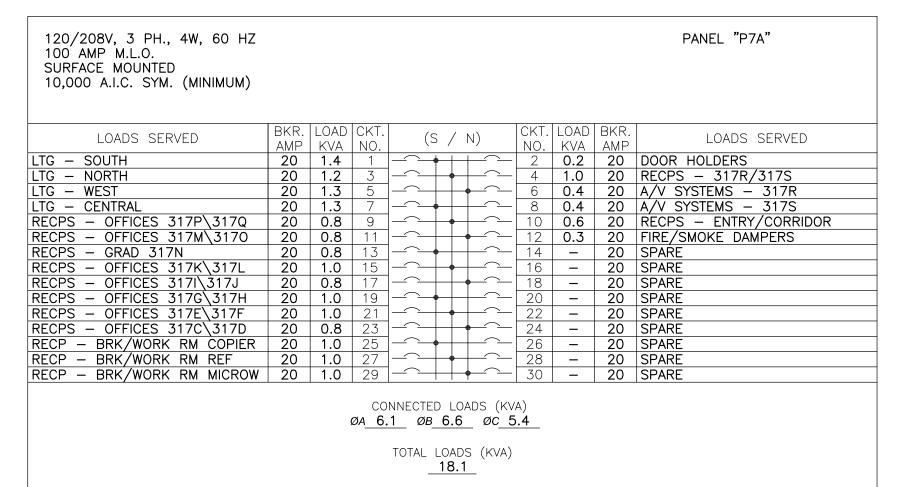
			LIGHTIN	IG FIXTURE SCHEDULE				
A 2'X4' SPEC. GRADE LENSED COLUME DAY-BE		DESCRIPTION	MANUFACTURER	MODEL NUMBER	OPTICAL ELEMENT	MOUNTING	VOLTS	LAMPS
		COLUMBIA DAY—BRITE HE WILLIAMS	ST8 24-332G-FSA12.125-EU	1/8" ACRYLIC LENS	CEILING GRID	120	3 - 28WT8/841/ALTO	
	В	2'X2' SPEC. GRADE LENSED TROFFER	COLUMBIA DAY-BRITE HE WILLIAMS	ST822-E17G-FAA12.125-EU	1/8" ACRYLIC LENS	CEILING GRID	120	3 - 17WT8/841/ALTO
	BE	SAME AS TYPE "B" BUT WITH INTEGRAL EMERGENCY SELF—TEST BATTERY PACK.	COLUMBIA DAY—BRITE HE WILLIAMS	ST822-E17G-FAA12.125-EU WITH 950 LUMEN SELF-TEST / SELF-DIAGNOSTIC BATTERY PACK	1/8" ACRYLIC LENS	CEILING GRID	120	3 — 17WT8/841/ALTO
·	С	2'X2' ARCHITECTURAL LED TROFFER	COLUMBIA DAY-BRITE HE WILLIAMS	LSER22-40MLG-C-EDU	ACRYLIC LENS	CEILING GRID	120	LED - 35.5 WATTS, 3173 LUMENS, 840
\boxtimes	CE	SAME AS TYPE "C" BUT WITH INTEGRAL EMERGENCY SELF-TEST BATTERY PACK.	COLUMBIA DAY-BRITE HE WILLIAMS	LSER22-40MLG-C-EDU WITH 950 LUMEN SELF-TEST / SELF-DIAGNOSTIC BATTERY PACK	ACRYLIC LENS	CEILING GRID	120	LED - 35.5 WATTS, 3173 LUMENS, 840
0	D1	6" LED DOWNLIGHT	PRESCOLITE LIGHTOLIER HE WILLIAMS	LC6LED 120 - 6LCLED 540K8	-	RECESSED IN CEILING	120	LED - 17.1W, 925 LUMENS, 840
•	D1E	SAME AS TYPE "C" BUT WITH INTEGRAL EMERGENCY SELF—TEST BATTERY PACK.	PRESCOLITE LIGHTOLIER HE WILLIAMS	LC6LED 120 EM - 6LCLED 540K8 EM	_	RECESSED IN CEILING	120	LED — 17.1W, 925 LUMENS, 840
0	D2	6" LED DOWNLIGHT, DIMMABLE	PRESCOLITE LIGHTOLIER HE WILLIAMS	LC6LED 120 DM - 6LCLED 540K8	-	RECESSED IN CEILING	120	LED — 17.1W, 925 LUMENS, 840
무	F	2' WRAPAROUND	COLUMBIA DAY—BRITE HE WILLIAMS	W 2 2 17 EU	ACRYLIC LENS	WALL MTD 12" ABOVE DOOR FRAME	120	2 - 17WT8/841/ALTO
⊗	Х	THERMOPLASTIC SELF—POWERED LED EXIT SIGN WITH SELF—DIAGNOSTICS	DUAL-LITE CHLORIDE EMERGLITE	EVE U R W E I	_	UNIVERSAL MOUNT	120	LED INCLUDED

LIGHTING FIXTURE NOTES

1. FOR EACH FIXTURE LISTED IN THE LIGHTING FIXTURE SCHEDULE, THE FIRST MANUFACTURER LISTING IS THE BASIS OF DESIGN. MODEL NUMBERS LISTED ARE FOR THE BASIS OF DESIGN MANUFACTURER ONLY. ANY OTHER MANUFACTURERS LISTED INDICATE THAT THEY MAY BE CONSIDERED AS A PRIOR APPROVED EQUAL. PRIOR APPROVED EQUAL



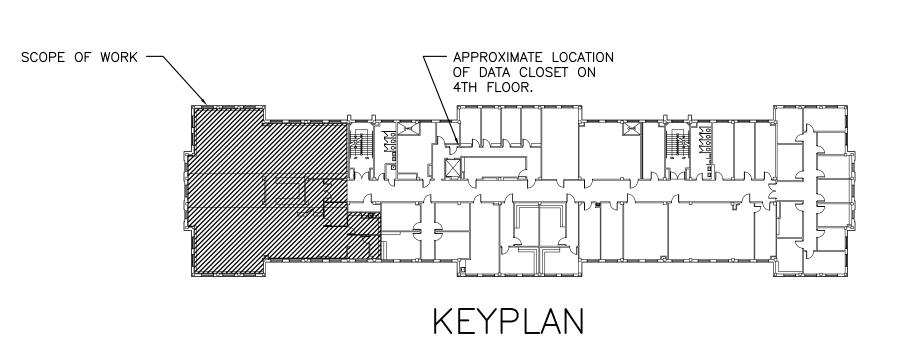




2 A/V CHIEF BOX DETAIL

NOT TO SCALE

	ELECTRICAL DRAWING INDEX
E001	ELECTRICAL SYMBOL LEGEND & SCHEDULES
ED101	ELECTRICAL DEMOLITION PLAN
E101	LIGHTING RENOVATION PLAN
E201	POWER/SYSTEMS RENOVATION PLAN





EMAIL: jareheart@bellsouth.net

ELECTRICAL SYMBOL LEGEND & SCHEDULES

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E001

SHALL BE DEFINED AS THE ABILITY TO PROVIDE AN EQUAL FIXTURE TO THE BASIS OF DESIGN. RE-ARRANGE EXISTING CIRCUIT
BREAKERS SO THAT THERE ARE
THREE ADJACENT SPACES. PROVIDE
A 60-AMP, 3-POLE CIRCUIT

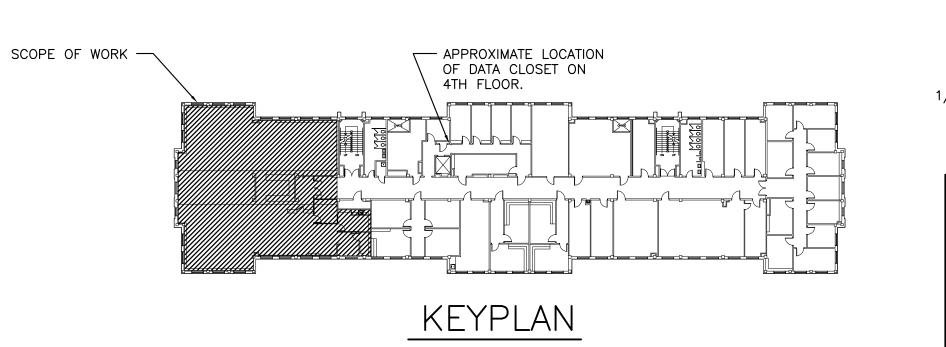
PARTIAL POWER SINGLE-LINE DIAGRAM
NOT TO SCALE

ONE 1" C. WITH PULL STRING — FOR DATA CABLING

PARTIAL THIRD FLOOR ELECTRICAL DEMOLITION PLAN 1 PARTIAL THIS SCALE: 1/4" = 1'-0"

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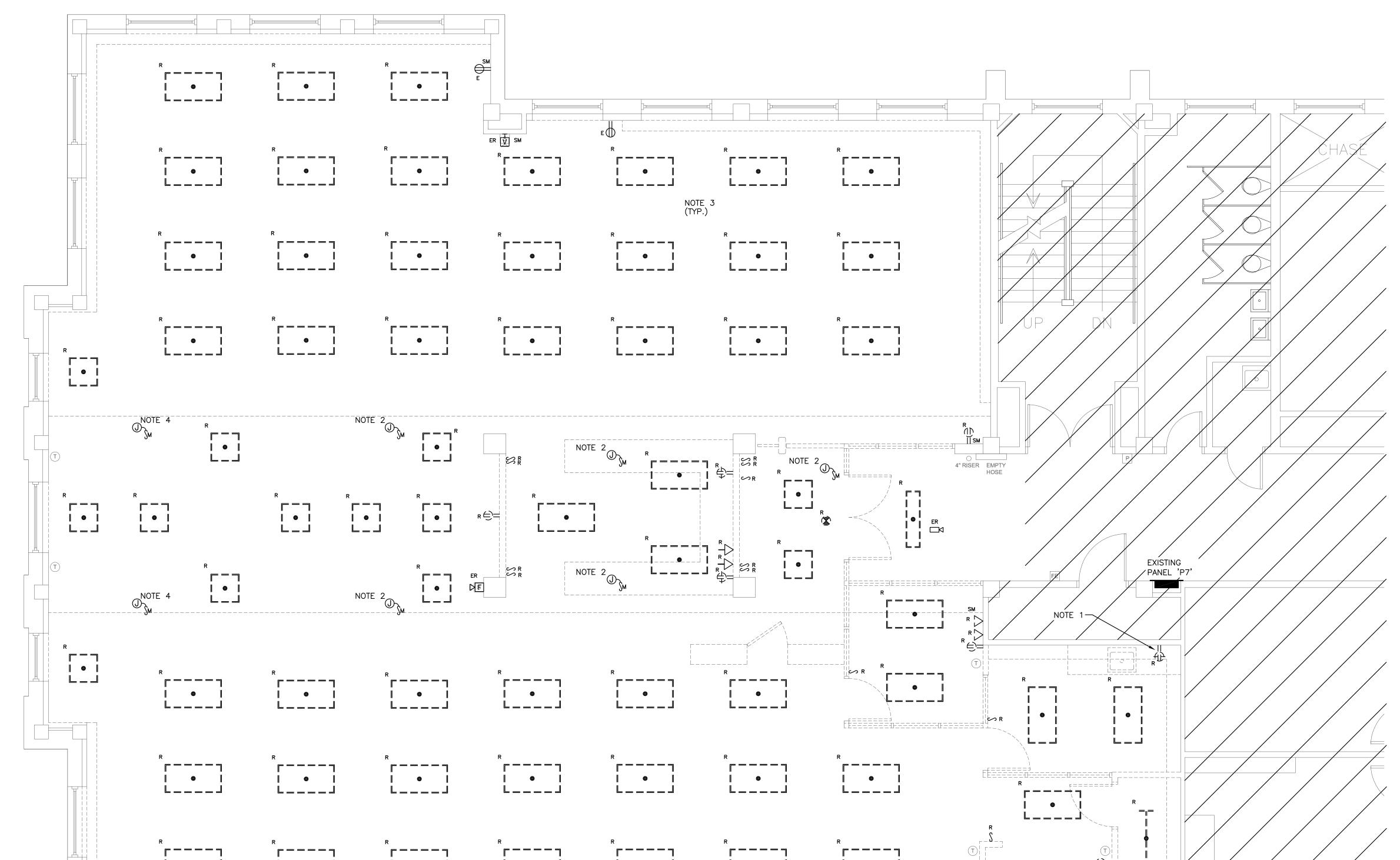
EMAIL: jareheart@bellsouth.net

ELECTRICAL **DEMOLITION PLAN**

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DEMOLITION NOTES

2. EXISTING MECHANICAL SYSTEMS SHALL BE REPLACED. DISCONNECT EXISTING EQUIPMENT AND REMOVE ASSOCIATED WHIPS. EXISTING BRANCH CIRCUITS SHALL BE RE-USED IN RENOVATION PHASE TO SUPPORT NEW MECHANICAL SYSTEMS.

3. DISCONNECT AND REMOVE LIGHTING FIXTURES AND ASSOCIATED BRANCH CIRCUIT WIRING

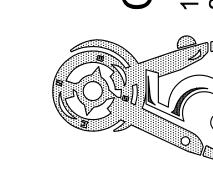
4. EXISTING MECHANICAL SYSTEM SHALL REMAIN IN PLACE. MAINTAIN INTEGRITY OF

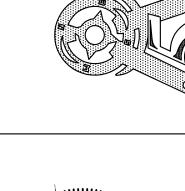
1. EXISTING ABOVE COUNTER RECEPTACLE SHALL BE DEMOLISHED. EXISTING BRANCH CIRCUIT, WALL BOX, AND WIRING SHALL REMAIN IN PLACE TO BE RE-USED IN

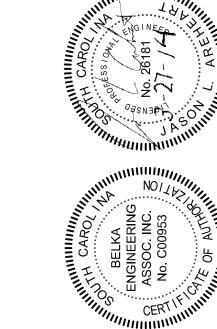
RENOVATION PHASE.

EXISTING BRANCH CIRCUIT.

AND RACEWAY COMPLETELY BACK TO SOURCE.







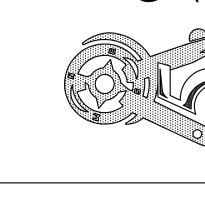
PARTIAL THIRD FLOOR LIGHTING RENOVATION PLAN

SCALE: 1/4" = 1'-0"

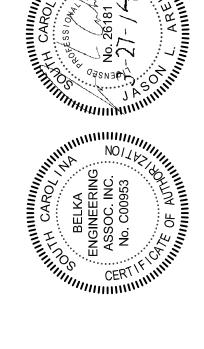
LIGHTING NOTES

- BRANCH CIRCUITS SHOWN ON THIS PLAN SHALL BE SERVED FROM PANEL 'P7A' UNLESS NOTED OTHERWISE.
- 2. ELECTRICAL CONTRACTOR SHALL COORDINATE MOUNTING LOCATIONS FOR ALL SWITCHES SUCH THAT THERE IS NO INTERFERENCE WITH CHALK BOARDS
- 3. WALL SWITCHES SHALL BE CONFIGURED WITH OCCUPANCY SENSORS TO PROVIDE A VACANCY SENSING CONTROL SCHEME WHERE WALL SWITCH TURNS LIGHTS ON AND OFF, AND SENSOR WILL ONLY TURN LIGHTS OFF WHEN SPACE IS UNOCCUPIED. SENSOR SHALL NOT TURN LIGHTS ON.

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LIGHTING RENOVATION PLAN

03.04.14

BEA BELKA ENGINEERING ASSOCIATES, INC. 7 CLUSTERS COURT, SUITE 201 COLUMBIA, SOUTH CAROLINA 29210 (803) 731-0650 fax (803) 731-2880 EMAIL: jareheart@bellsouth.net

APPROXIMATE LOCATION
OF DATA CLOSET ON
4TH FLOOR.

SCOPE OF WORK -

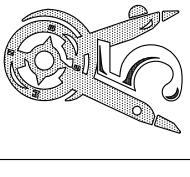
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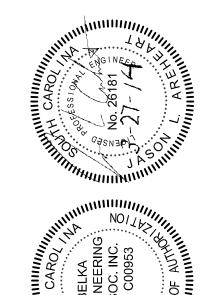
E101

NOT IN SCOPE OF WORK

BRANCH CIRCUITS SHOWN ON THIS PLAN SHALL BE SERVED FROM PANEL 'P7A' UNLESS NOTED OTHERWISE.

- 2. PROVIDE AN A/V BOX (CHIEF MODEL #: PAC516 OR EQUAL) WALL BOX FLUSH MOUNTED ON WALL BEHIND TV FOR CONSOLIDATION OF CABLES BEHIND TV. COORDINATE EXACT MOUNTING LOCATION WITH INSTALLER AND MOUNTING SYSTEM SUCH THAT BOX IS COMPLETELY CONCEALED BEHIND TV. BOX SHALL INCORPORATE RECEPTACLE, AND BLANK SPACES FOR DATA OUTLETS AND A/V CABLING BY OWNER. PROVIDE A 1" CONDUIT WITH PULL STRING FROM WALL BOX TO ABOVE DROPPED CEILING AND TO A/V JUNCTION BOX (8"x8"x4") IN ROOM. SEE DETAIL 2 ON SHEET
- 3. PROVIDE A GFI TYPE RECEPTACLE IN EXISTING WALL BOX AND CONNECT TO EXISTING BRANCH CIRCUIT.
- 4. COORDINATE EXACT MOUNTING LOCATION WITH CASEWORK SHOP DRAWINGS SUCH THAT RECEPTACLE IS CONCEALED BEHIND MICROWAVE IN CASEWORK.
- 5. EXTEND EXISTING BRANCH CIRCUIT THAT SERVED EXISTING MECHANICAL UNIT TO NEW UNIT LOCATION. COORDINATE WITH MECHANICAL INSTALLER FOR EXACT UNIT
- 6. PROVIDE A 4" CONDUIT FROM CABLE TRAY TO BELOW 4TH FLOOR COMM ROOM AND PROVIDE AN INSULATED BUSHING ON EACH END. PROVIDE A 4" SLEEVE THROUGH 4TH FLOOR SLAB INTO COMM ROOM. COORDINATE ALL WORK WITH DAVID PECK AT USC -UTS (803-777-8786).
- PROVIDE A SPOT TYPE SMOKE DETECTOR LISTED FOR RELEASING SERVICE WITHIN 5'-0" OF FIRE/SMOKE DAMPER. PROVIDE ALL REQUIRED CONTROL AND MONITOR RELAYS AND WIRING TO ALLOW FOR CONTROL AND ACTUATOR BASED ON LOCAL DETECTOR, AND COMMUNICATION WITH FIRE ALARM CONTROL PANEL. PROVIDE A 120-VOLT CONNECTION TO FIRE/SMOKE DAMPER. COORDINATE LOCATION WITH MECHANICAL CONTRACTOR.
- 8. DUCT MOUNTED SMOKE DETECTOR SHALL BE FURNISHED BY ELECTRICAL CONTRACTOR AND INSTALLED WITH IN 5'-0" OF FIRE/SMOKE DAMPER BY MECHANICAL CONTROL. PROVIDE ALL REQUIRED CONTROL AND MONITOR RELAYS AND WIRING TO ALLOW FOR CONTROL AND ACTUATOR BASED ON LOCAL DETECTOR, AND COMMUNICATION WITH FIRE ALARM CONTROL PANEL. PROVIDE A 120-VOLT CONNECTION TO FIRE/SMOKE DAMPER. COORDINATE LOCATION WITH MECHANICAL CONTRACTOR.
- 9. MODIFY AND EXTEND EXISTING BRANCH CIRCUIT THAT SERVED EXISTING FAN COIL UNIT TO NEW FAN COIL UNIT LOCATION.
- 10. EXISTING FAN COIL UNIT TO REMAIN IN PLACE. MAINTAIN INTEGRITY OF EXISTING BRANCH CIRCUITS.







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7 CLUSTERS COURT, SUITE 201 COLUMBIA, SOUTH CAROLINA 29210

(803) 731-0650 fax (803) 731-2880 EMAIL: jareheart@bellsouth.net

POWER/SYSTEMS RENOVATION PLAN

03.04.14 Checked:

PARTIAL THIRD FLOOR POWER/SYSTEMS RENOVATION PLAN

SCALE: 1/4" = 1'-0"

NOTE 7

M NOTE 9

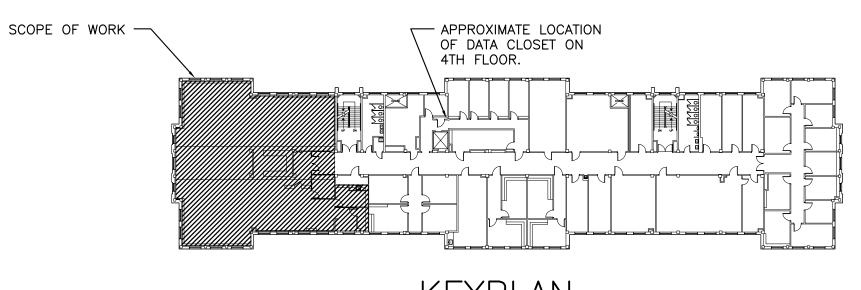
OFFICE 4

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GRAD 15 317N

12" X 4" BASKET TYPE CABLE TRAY

CORRIDOR H309



KEYPLAN